SHEET LIST

001 COVER SHEET

002 NOTES

003 BASIX

004 NatHERS

005 Nathers 006 SITE PLAN

007 DEMOLITION PLAN 008 DRIVEWAY DETAILS

009 GROUND FLOOR PLAN

010 GROUND FLOOR PLAN WITH MEASUREMENTS 011 FIRST FLOOR PLAN

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016 SECTION

017 FLOOR COVERING PLAN 018 FLOOR SPACE RATIO PLAN

019 SHADOW DIAGRAMS, 21st JUNE 9am & 10am 020 SHADOW DIAGRAMS, 21st JUNE 11am & 12noon

021 SHADOW DIAGRAMS, 21st JUNE 1pm & 2pm

022 SHADOW DIAGRAMS, 21st JUNE 3pm

023 WINDOWS & DOORS SCHEDULES

024 SITE MANAGEMENT PLAN
025 SITE ANALYSIS

026 NOTIFICATION PLAN







YOUR HOME. OUR PASSION.

CLIENT'S NAME:

MR EMAD LOKA

MRS NARDINE LOKA

JOB NO:

24-1117

SITE ADDRESS:

LOT: 2

DP: 23623

(No. 59) LUCAS ROAD

EAST HILLS

NSW, 2213

PROPOSED:

NEW TWO STOREY DWELLING & DETACHED SECONDARY **DWELLING**

DESIGN NAME:

HEMISPHERE 48-MASTER REAR

FACADE NAME:

ARC

PACKAGE:

PRESTIGE

REVISION:

ARTISTIC IMPRESSION IS FOR ILLUSTRATION PURPOSES ONLY. COLOURS AND MATERIAL FINISHES
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GENERAL NOTES:

COORDINATION:
REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS, AND THE DOCUMENTATION OF OTHER CONSULTANTS. NOTIFY ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL AND/OR OTHER CONSULTANTS DOCUMENTATION PRIOR TO PROCEEDING WITH THE WORKS.

SPECIFICATIONS AND SCHEDULES:

REFER TO AND COORDINATE WITH APPLICABLE SPECIFICATIONS AND SCHEDULES, NOTIFY ANY DISCREPANCIES BETWEEN DOCUMENTS PRIOR TO PROCEEDING WITH THE WORKS.

DETAIL DRAWINGS:

DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER DRAWINGS AT SMALLER SCALES. NOTIFY ANY
DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORKS.

EXECUTION OF THE WORKS

EXECUTE THE WORKS IN ACCORDANCE AND COMPLIANCE WITH:

-THE APPROVED DEVELOPMENT APPLICATION AND IN ACCORDANCE WITH THE RELEVANT CONDITIONS OF CONSENT AND OTHER RELEVANT LOCAL AUTHORITY REQUIREMENTS;

-THE REQUIREMENTS SCHEDULES BY A CURRENT BASIX CERTIFICATE CONSISTENT WITH THE WORKS. -THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED); AND

-CURRENT EDITIONS OF THE RELEVANT AUSTRALIAN AND OTHER APPLICABLE PUBLISHED STANDARDS RELEVANT TO THE EXECUTION OF THE WORKS.

UNITS OF MEASUREMENT:

DIMENSIONS ARE SHOWN IN MILLIMETRES UNLESS NOTED OTHERWISE.

MATERIALS HANDLING AND STORAGE: MATERIAL FIXTURES AND FITTINGS ARE TO BE HANDLED. STORED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S CURRENT WRITTEN INSTRUCTIONS.

STRUCTURE:

FOUNDATIONS, FOOTINGS, REINFORCED CONCRETE SLABS, RETAINING WALLS, FRAMING, BRACING, TIE-DOWN AND OTHER STRUCTURAL ELEMENTS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE STRUCTURAL ENGINEER'S DETAILS AND SPECIFICATIONS.

HYDRAULICS:

STORMWATER DRAINAGE, WASTE WATER DRAINAGE, FRESH WATER GAS SUPPLY AND OTHER HYDRAULIC SERVICES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AUTHORITY AND HYDRAULIC ENGINEER'S REQUIREMENTS.

SLAB REBATES:

ALL SLAB REBATES TO BE 160mm UNLESS OTHERWISE NOTED

GARAGE REBATES ARE 280mm WIDE X 15mm RECESS. ALL DIMENSIONS ARE TAKEN FROM EXTERNAL EDGE OF BRICK WALL.

WET AREAS:

FIXTURES SHOWN ARE FOR ILLUSTRATION PURPOSES ONLY. ALL SIZES DEPICTED MAY VARY DEPENDING ON AVAILABILITY AND PRODUCT SELECTION. HEIGHT OF TILES MAY VARY ACCORDING TO SELECTION OF TILES. F.W. LOCATION IS DIAGRAMATIC ONLY AND POSITION MAY VARY. ALL FIXTURES SHOWN ARE BASED ON STANDARD INCLUSIONS MEASUREMENTS MAY VARY AS PER THE AVAILABILITY AND PRODUCT SELECTION.

MEASUREMENTS:

ALL MEASUREMENTS ARE TAKEN FRAME TO FRAME AND TO FINISH FLOOR LEVEL. NO CONSIDERATION OF FLOOR FINISH HAVE BEEN TAKEN, WHERE NEEDED. MEASUREMENTS MAY NEED TO BE ACCOUNTED FOR FINISH ONTOP OF CURRENT DIMENSION.

CONSULTANTS:

ALL RELEVANT CONSULTANT DRAWINGS TO BE REFERED BACK TO ORIGINAL DRAWINGS PROVIDED.

MINIMUM 105mm BETWEEN DOOR JAMB AND WALL, WHERE MINIMUM DIMENSION CANNOT BE ACHIEVED, DOOR TO BE CENTERED BETWEEN WALLS.

BALUSTRADES AND HANDRAILS, NEWEL POST, TREADS AND RISERS TO STAIR MANUFACTURER'S SPECIFICATIONS.

ROOF PLANS:

TRADESMAN TO ENSURE THE CORRECT INSTALLATION OF ROOF FLASHING TO JUNCTION OF BRICKWORK AND

REFER TO ENGINEER'S DETAILS FOR DROP EDGE BEAMS IF APPLICABLE.

BALUSTRADES

ALL BALUSTRADES TO BE 1.1m FROM THE FINISHED FLOOR LEVEL

BEARINGS AND DISTANCES ARE BY TITLE AND/OR DEED

THIS DETAIL SURVEY IS NOT A "SURVEY" AS DEFINED BY THE SURVEYORS ACT 1929. IF ANY CONSTRUCTION IS PLANNED IT WOULD BE ADVISABLE TO CARRY OUT FURTHER SURVEY WORK TO DETERMINE THE BOUNDARY DIMENSIONS.

RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.

CONTOURS SHOWN DEPICT THE TOPOGRAPHY, EXCEPT AT SPOT LEVELS SHOWN, THEY DO NOT REPRESENT THE EXCAT LEVEL AT ANY PARTICULAR POINT.

SERVICES SHOWN HEREON HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY, PRIOR TO ANY DEMOLITION, EXCAVATION, OR CONSTRUCTION ON THE SITE THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH DETAILED LOCATION AND DEPTH.

AUSTRALIAN HEIGHT DATUM WAS ESTABLISH FROM SSM 168755 RL 69.056.

TREE LOCATIONS ARE ACCURATE TO +/- 0.30m.

THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:200M.

SITE SPECIFIC HAZARDS:

OVERHEAD POWERLINES NO STREET PARKING LIMITED SPACE FOR MATERIAL STOCK PILE EXISTING POOL CLOSE TO SCHOOL FOOTPATH / PEDESTRIAN TRAFFIC TRAFFIC CONTROL REQUIRED EXISTING TREES / OVERHEAD CONSTRUCTION DROP FDGF BEAM ELECTRICAL TURRET / INSTALLATION

SITE INDUCTION:

BEFORE ENTERING SITE PLEASE REVIEW. AND MAKE YOURSELF FAMILIAR WITH EMERGENCY CONTACTS. SITE SPECIFIC HAZARDS AND THE SITE SPECIFIC INDUCTION INFORMATION THAT IS LOCATED ON THE SITE INDUCTION SIGN. IF YOU HAVE ANY TROUBLE UNDERSTANDING THIS INSTRUCTION, CONTACT THE SITE SUPERVISOR OR EMERGENCY CONTACT NUMBER LOCATED ON THE SIGN.





59

BASIX & THERMAL COMMITMENTS









R2.5

Date 260525		Job Number	LOKA 24-1117	Assessment	1		REQUIRED CHANG	SES HIGHLIGHT	ΓED
Jnit/Number	Lot	DP	Street		,	Suburb		Post Code	State
9	2	23623	Lucas Road			East Hi	ls	2213	NSW

Floors					
	Material	Added Insulation	То	o Cantilever/Suspended	Floor Coverings
Ground	Waffle Pod 225mm				As shown on plans
1st Floor	Timber	R2.5 Insulation	Between Levels Throughout	R2.5 Insulation	

Walls	Colour	External Material	Insulation	Internal Material	Internal Insulated	
Ground	Default	Brick Veneer Timber frame	R2.5, Non Reflective Wrap	Plaster Timber 90mm	L'dry	R2.5
1st Floor	Default	Brick Veneer, FC Sheet on battensTimber	FR2.5, Non Reflective Wrap	Plaster Timber 90mm		

Ceilings	Material	Insulation	to Roof Above	Roof	Insulation	Material	Colour	Ventilated
Ground	Plaster Timber Frame	R6.0	R2.5 to Low Edge	Ground	Anticon 50mm (R1.3)	Metal	Default	No
1st F l oor	Plaster Timber Frame	R6.0	R2.5 to Low Edge	1st Floor	Anticon 50mm (R1.3)	Metal	Default	No
				Granny Flat	Sarking	Tilos	Default	No

1st Floor	Plaster Timber Frame	R6.0	R2.5 to Low Edge	1st Floor	Anticon 50mm (R1.3)	Metal	Default	No	
				Granny Flat	Sarking	Tiles	Default	No	
Glazing	Please Refer to the				l glazing. To comply you nd have an SHGC value			same	
					Y PLEASE REFERENCE				
Supplier	Glazing T	ype Requ	ired Location	(s) of Glazing	Required				
Trend	Standard	Single Cle	ar All Wet A	reas. Through	out Granny Flat excluding	SD47			

Trend	Standard Single Clear	All Wet Areas, Throughout Granny Flat excluding SD47
	Low-e Single Clear	Main Dwelling Upper Beds and Retreat (SD47 Granny Flat)
	Low-e Double Glaze	Excluding above

Ceiling Fans	Location	Fan Size	
	(Main House Leisure, Bed 4) (Granny Flat Living)	1200mm	

Water	Landscape Area	Low Water Area	Rain Water	Tank, connected to.	Roof Area to Tank	Recycled Water, connected to.
	426.98 m2	m2	3,000L	Garden, WC, Laundry	80% of Roof	No
Showerh	eads		Toilets	Kitchen Taps	Bathroom Taps	Swimming Pool
3 Star > 7	.5 but less < or = 9.0	litres per minute	4 Star	4 Star	4 Star	No

Energy	Hot Water	Rating	Air Conditioning	Other
	Gas Instantaneo	us 5 Star	Cooling 3.0 - 3.5 EER - Heating 3.0 - 3.5 EER Single Phase	e Outdoor Cloths Line
Solar Photo	ovoltaic System	Orientation	Cooking	
Yes	min 1.0 KW	North	Gas Cooktop/ Electric Ove	en

Ventilation	Laundry	Bathroom	Kitchen
v on the later on	Natural Ventilation- external window	Ducted	Ducted

Notes

The project has been assessed under the simulation method of the BASIX Protocol. Downlights fitted after the assessment must be IC Rated and non-ventilated All new residential buildings must be constructed in accordance with Building BCA Part 3.12.1, Build Sealing BCA Part 3.12.3. Insulation must be installed in accordance with AS3995

Frys Building Consultancy Pty Ltd Trading as Frys Energywise are Accredited Thermal Energy Assessors ABSA 20856, BDAV 12/1441, COLA 2011291

YOUR HOME. OUR PASSION.

DESIGN NAME: HEMISPHERE 48-MASTER REAR PACKAGE: **PRESTIGE**

FACADE NAME: NOTES ARC SCALE: @ A3 JOB NO: DATE: SHEET NO: 22.05.25 24-1117

CLIENT'S NAME: MR EMAD LOKA MRS NARDINE LOKA

I ACCEPT AND APPROVE CURRENT PLANS AND ALL

LOT: 2

DP: 23623

NSW, 2213

(No. 59) LUCAS ROAD

SITE ADDRESS:

EAST HILLS

REVISION:

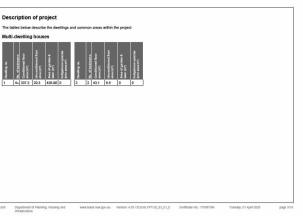
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Multi Dwelling

Certificate Prepared by	
Name / Company Name: FRYS BUILDING CONS	ULTANCY PTY LTD





velopment certificate issued, for the proposed development, that BASIX commitments be compiled with.	ment consen	t granted, or complying	rg
Commitments for multi-dwelling housing			
) Dwellings			
() Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	~	~	
c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		~	~
d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		~	~
e) The applicant must install:			
(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and		V	, J
(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all tollets in the dwelling.		~	~
e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	V	~	
f) if specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		V	
g) The pool or spa must be located as specified in the table.	V	V	
h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	~	~	~

			Fixture	*		App	liances		Indiv	idual pool				Individual:	spa
Dwelling no.	All shower heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish- washers	Volume (max volume)	Pool cover	Pool location	Pool	ed (r	olume nax olume)	Spa cover	Spa shaded
VI Iwellings	3 star (> 7.5 but • 9 L/min)	c=	4 star	4 star	•	9	T.		•	-				**	-
							Alternati	ive water so	arce						
Dwelling	welling no. Alternative water supply systems Size Co			Configur	ation			Landso		ilet nnection	Laundi		Pool top- up	Spa top-up	
I)	Inc 1)	dividual water t	ank (No.	Tank size (min) 3000 liters		run-off from are metres o			yes	yes		yes		no	no
VI other Iwelings		alternative wa	iter		-				-	-		-		-8	-
(ii) Energ	у											ow on plans		on CC/CDC & specs	Certifier check
(b) The a	pplicant r	nust install each	h hot wate table spe	er system spe cifies a centr	ed below in car cified for the du al hot water sys hot water is sup	velling in the	table below, s	to that the dv	veiling's ho	ot water is	н.	~		~	~
(c) The ap	oplicant n	nust install, in e	each bathr	room, kitchen	and laundry of ave the operat	the dwelling on control s	the ventilatio	n system spe n the table.	ofied for t	hat room is				V	-
the table below. Each such ventilation system must have the operation control specified for it in the table. (In The applicant must retail after occiting and healing system's specified for the deleting size the Tuking areas' and "Bedroom areas heading of the "Cooling" and "Healing" columns in the table below, infor a least 1 fairing bedroom area of the deleting, if no cooling in healing signed in a specified in the table for "Living areas" of "Bedroom areas", he have also the deleting, if no cooling in healing signed in a specified in the table for "Living areas" of "Bedroom areas", he no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for daylinght coming between living areas and bedrooms.								,			*	~			
the tai	ble below of for ear	(but only to the	e extent s the dwel or area, t	pecified for th ling is fluores then the light	dwelling which lat room or area cent lighting or fittings in that ro	 The appli light emitting 	cant must ensi	ure that the "	primary typ	e of artific	al			~	~

(ii) Energy					Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(f) This commitment applies to e the table below (but only to the fitted with a window and/or si	e extent specified for that re				~	~	×
(g) This commitment applies if th	e applicant installs a water I	neating system for the dv	velling's pool or spa. T	he applicant must:			
(aa) install the system sp any system for the p	soified for the pool in the "In lool). If specified, the applica	dividual Pool" column of ant must install a timer, to	the table below (or alte control the pool's pur	matively must not install ip; and		V	
	coified for the spa in the "Inc pa). If specified, the applica					V	
(h) The applicant must install in t	he dwelling:						
(aa) the kitchen cook-top table below;	and oven specified for that o	twelling in the "Appliance	s & other efficiency me	asures" column of the			
(bb) each appliance for w the table, and ensur	hich a rating is specified for e that the appliance has tha	that dwelling in the "App t minimum rating; and	liances & other efficien	cy measures" column of		V	-
(cc) any clothes drying lin	e specified for the dwelling i	n the "Appliances & othe	r efficiency measures"	column of the table.			
(i) If specified in the table, the ap ventilated".	plicant must carry out the de	evelopment so that each	refrigerator space in th	e dwelling is "well		~	
(j) The applicant must install the "Alternative energy" column	te applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.						~
Hot water	Bathroom ver	ntilation system	Kitchen	entilation system		aundry ventilation sy	stem

(j) The app "Altern	plicant n ative en	nust install the ph ergy" column of t	heading of the	V		/	~				
		Hot water Bathroom ventilation system			ntilation system	Kitchen ven	Laundry ventilation system				
Dwelling no.	Hot water system		t water system		Each kitchen	Operation control	Each I	laundry	Operation control		
All dwellings	gas in	gas instantaneous - 5 individual fan, ducte to façade or roof			manual switch on/off individual fan, ducted to façade or roof				natural ventilation - only, or no laundry		
			c	ooling			leating		N:	itural lig	hting
Dwelling i	no. living areas 1-phase airconditoring - ducted / EER 3.0 - 3.5			bedroom areas ring - 1-phase airconditioning - ducted / EER 3.0 - 3.5		living areas	bedroom areas		No. of bathro or toilets	oms	Main kitchen
1:			ditioning -			1-phase airconditioning - 1-phase aircondit ducted / EER 3.0 - 3.5 ducted / EER 3.0				\neg	no

- 1	Hot water	Bathroom w	ntilation system	Kitchen vent	Station system	Laundry ve	ntilation system
Dwelling no.	Hot water system	ater system Each bathroom 0		Each kitchen	Operation control	Each laundry	Operation control
All dwellings			manual switch on/of	f individual fan, ducted to façade or roof	manual switch on/off	natural ventilation only, or no laundry	-
		Cooling		н	leating	N	latural lighting
Dwelling no	and the second s		m areas	living areas	bedroom areas	No. of bathror toilets	ooms Main kitchen
1	1-phase aircon ducted / EER	nditioning - 1-phase 3.0 - 3.5 ducted	airconditioning - EER 3.0 - 3.5	1-phase airconditioning - ducted / EER 3.0 - 3.5	1-phase aircondition ducted / EER 3.0 - 3	ng - 4	no
	frient of Planning, House tructure	ig and www.bastx	nsw.gov.au Versios:	4.03/EUCALYPTUS_03_01_0	Certificale No.: 17896	79M Tuesday, 0:	April 2025 page 6

	36 1/00			-		
the applicant installs a water						
pecified for the pool in the "In pool). If specified, the applic	ndividual Pool" column o cant must install a timer,	of the table below (or alternat to control the pool's pump; a	ively must not install and		~	
ecified for the spa in the 'Inc spa). If specified, the applica		the table below (or alternation control the spa's pump.	rely must not install		~	
the dwelling:						
and oven specified for that	dwelling in the "Applian	ces & other efficiency measu	ires" column of the		~	
hich a rating is specified for re that the appliance has the	r that dwelling in the "Ag at minimum rating; and	opliances & other efficiency n	neasures" column of		V	¥
ne specified for the dwelling	in the "Appliances & of	her efficiency measures" colu	imn of the table.		~	
		h refrigerator space in the di			V	
photovoltaic system specifie of the table below, and conn	ied for the dwelling unde nect the system to that or	er the "Photovoltaic system" h swelling's electrical system.	neading of the	V		~
	osially by					
Each bathroom	Operation control	Each kitchen	Operation control	Each laund	undry ventilation Iry Oper	system ration control
individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof		natural venti only, or no la		
Cooling			eating		Natural lig	
	om areas	living areas	bedroom areas		of bathrooms	Main kitchen
				and the same	oilets	no
monditioning - 1-phase	e airconditioning - / EER 3.0 - 3.5	1-phase airconditioning - ducted / EER 3.0 - 3.5	1-phase airconditioning ducted / EER 3.0 - 3.5	- 4		

	mance and Materials					Show on DA plans	Show
certificate, if app	ust show on the plans a plicable), all thermal per sich were used to calcul	formance s	ing the application for a construct pecifications set out in the Assess pecifications.	ion certificate (or complying dev sor Certificate, and all aspects of	elopment f the proposed		
Certificate, and	ast construct the develop in accordance with thos were used to calculate	e aspects	coordance with all thermal perform of the development application or difications.	nance specifications set out in the application for a complying devi	ne Assessor elopment		
(g) Where there is a	an in-slab heating or coo	oling syster	n, the applicant must:			V	
			s than 1.0 around the vertical edg				
	spended floor, install in of the perimeter of the s		h an R-value of not less than 1.0	underneath the slab and around	the vertical		
(h) The applicant m	ust construct the floors	and walls o	f the development in accordance	with the specifications listed in	the table below.	V	
	ist show on The plans a out in The Assessor Cer		ing The development application	for The proposed development,	The locations of	V	
(j) The applicant mu certificate, if app	ist show on the plans as blicable), the locations o	coompanyi f ceiling far	ng the application for a constructions set out in the Assessor Certific	on certificate (or complying deve ate.	Sopment		
				Thermal load	5	w	
Dwelling no.	Area	adjusted l	neating load (in M.J/m²/yr)	Thermal load Area adjusted cooling load (201100000000000000000000000000000000000	Area adju	sted tota
100000000000000000000000000000000000000	Area 14.3	adjusted l	heating load (in M.Vm²/yr)	Area adjusted cooling load (201100000000000000000000000000000000000	Area adju	sted tota
Dwelling no. 1 All other dwellings		adjusted l	neating load (in M.l/m²/yr)	Area adjusted cooling load (201100000000000000000000000000000000000		sted tota
1	14.3	adjusted l	nesting load (in M.I/m²/yr)	Area adjusted cooling load (in M.U/m²/yr)	28.900	sled tota
1	14.3		heating load (in MJ/m²/yr) Suspended floor with open subfloor (m²)	Area adjusted cooling load (14.6 17.8	in M.J/m²/yr)	28.900 29.600	sted tota
1 All other dwellings	14.3 11.8 Concrete slab on		Suspended floor with open	Area adjusted cooling load (14.8 17.8 Construction of floors and w	in MJ/m²lyr) ralls Suspended	28.900 29.600	Pi

	Floor types	Conc	rete slab on gr	ound		Surpended f	loor above enclos	ed subfloor	Summand	ad floor show	e open subfloor
Dwelling no.	Area (m²)	Insulation	Low emission option	Demateria	disation	Construction type	The second second	nsulation	Constructio type	The Real Property lies	SERVICE SERVICE
1	177.2	E23	F	waffle pod	slab	3	-	3	particle board frame: timber - H2 treated softwood		fibreglass batts or roll
All other dwellings	49.6	-		waffle pod	slab				.5		-
	Floor types										
	First flu	oor above ha	bitable nine	Suspend	ed floor al	cove garage			Garage flo	or	
Dwelling no.	Construction type	Area (m")	Insulation	Construction type	Area (m	') Insulation	Construction type	Area (m²)	Insulation	Low emissions option	Dematerialisatio
1	particle board, frame: timber - H2 treated softwood	142.1	fibreglass batts or roll	particle board, frame: timber - H2 treated softwood	38.1	fibreglass batts or roll	concrete slab on ground	43.5	-	8	waffle pod slab
All other dwellings	e.	-	-	-	-	-	8	0	-	-0	conventional slab
	External	walls	,				**				
			Externa	ıl wall type 1					External wall ty	pe 2	
Dwelling no.	Wall typ	. /	irea (m*)	Insulation		w emissions tion	Wall type	Area (m) Inst	dation	Low emissions option
1	brick vene frame : fir - H2 treat softwood	nber ed	31.8	fibreglass bat roll		ne	framed (fibre cement sheet or boards), frame : timber - H2 treated softwood	37.3	fibre	glass batts or	none
All other dwell	ngs brick vene		3	fibreglass bat	ts or -		-	-			

	External walls									
		Exte	ernal wall type 1			ĺ		External w	all type 2	
Dwelling no.	Wall type	Area (m²) Insulation		Low emissions option		Wall type Area		s (m²)	Insulation	Low emission option
	- H2 treated softwood									
	External walls									
		Exte	ernal wall type 3					External w	all type 4	
Dwelling no.	Wall type	Area (m")	Insulation	Low emi	ssions	Wall typ	pe Arei	s (m²)	Insulation	Low emission option
All dwellings	-	-	1-	-		-	-	1		-
	Internal walls									
		l walls shared w	ith garage		Internal	wall type	1		Internal wall t	pe 2
Dwelling no.	Wall type	Area (m²)	Insulation	Wall type	Area (m*)	Insulation	Wall type	Area (m²)	Insulation
1	plasterboard, frame: timber - H2 treated softwood	34.8	fibreglass batts or roll	plasterboard, frame: timber - H2 treated softwood	36.3		fibreglass batts or roll	plasterboard, frame: timber - H2 treated softwood	212.2	- 1
All other dwellings		-1	-	plasterboard, frame: timber - H2 treated softwood	31.1		8:	-		1-9
	Ceiling and roo	,			7				*	*
		t ceiling / pitche	ed roof	Raked or	iling / pit	ched or s	killion roof		Flat ceiling / fla	st roof
Dwelling no.	Construction type	Area (m²)	Insulation	Construction type	Area (m²)	Insulation	Construction	Area (m²)	Insulation
1	framed - metal roof, frame: timber - H2 treated softwood	334	Ceiling fibreglass batts or roll,Roof: foil backed blanket	6			Ceiling:,Roof:	ð		Celing:,Roof:

	- 0-	t ceiling / pitched	d areast		iling / pitched o				lat ceiling / fla	t made
	Fla	t ceiling / pitchec		Raked ce	iling / pitchea o	rskillentreet			lat celling / ria	
Dwelling no.	Construction type	Area (m²)	Insulation	Construction type	Area (m²)	Insulation	n Constr type	uction	Area (m²)	Insulation
il other dwellings	framed - concrete tiles, frame: timber - H2 treated softwood	84.5	Ceiling fibreglass batts or roll,Roof; foil/ sarking	-	-1	Ceiling:,Ro	oof: -	-		Celing:,Roof:
		Glazing	type				Frame typ	rs .		
Dwelling no.			zing Alumin frames	ilum Tin (m²) (m²	iber frames	uPVC frame (m²)		teel frames n')	Composite frames (m²)	
	16.2	50.4	1-	72.6	T-		1-	-		-
Il other dwellings	16.9	-		16.9	-			- 1		
				1000						
			1	1.00						,
			'				I			
					,		I			
							I			

i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project Table).	~	~	
(c) If a rating is specified in the table below for a fedure or appliance to be installed in the dwelling, the applicant must ensure that each such fedure and appliance meets the rating specified for it.		V	V
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		V	V
(e) The applicant must install:			
(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and		V	V.
(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		~	~
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	v	V	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		~	
(g) The pool or spa must be located as specified in the table.	V	~	
(b) The applicant must instal, for the dwelling, each alternative water supply system, with the specified size, Issaid for that dwelling in the table below. Each system must be configured to collect run-off from the evens specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	~	V	~
ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	~	~	~
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		J.	- 9

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifie
(d) The applicant must install the cooling and heating system's specified for the dwelling under the "Living areas" and "Bedroom areas" heatings of the "Cooling" and "Heating" columns in the table below, infor at least. It floreglechoom near of the dwelling, in for cooling on heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoner" is specified beside an air conditioning system, then the system must provide for daylright zoning between living areas and bedrooms.		V	7
(e) This commitment applies to each room or area of the deeling which is referred to in a heading to the "Artificial lighting" column of the table below during the long profile for the more or area.) The applicant most entire that the primary type of deel the more or area.) The applicant most entire that the primary type of deep the primary type of the primary		¥ .	~
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	~	~	~
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must:			
(aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and		V	
(bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		~	
(h) The applicant must install in the dwelling:			
 (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; 		V	
(bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and		~	~
(cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		J	
 if) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated". 		~	
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	V	V	V
(iii) Thermal Performance and Malerials	Show on DA plans	Show on CC/CDC plans & specs	Certific
(a) The applicant must altach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate) to the development application and construction certificate application for the proposed development of the applicate of the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a failed coupling development.			

(iii) Thermal Performance and Materials	Show on DA plans	Show on CC/CDC plans & specs	Certifier
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Probod requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to serify that this is the case.	~		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable, all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		~	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with base aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		~	~
(g) Where there is an in-slab heating or cooling system, the applicant must:	¥	~	~
(aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or			
(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.			
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	V	V	V
(i) The applicant must show on The plans accompanying The development application for The proposed development, The locations of ceiling fans set out in The Assessor Certificate.	v		
(j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.		V	

(i) Water				Show DA pl		Show on CC/CDC plans & specs	Certifier
	g out the development, the appli-		or clothes washer into a common area, th	en that		V	Ú
	systems" column of the table be		emative water supply system(s) specified in the sized, be configured, and be connected.			~	~
(c) A swimming table.	pool or spa listed in the table m	ust not have a volume (in kLs) greate	er than that specified for the pool or spa in t	he 🗸		~	
(d) A pool or sp.	a listed in the table must have a	cover or shading if specified for the p	pool or spa in the table.			V	
(e) The applican	nt must install each fire sprinkler	system listed in the table so that the	system is configured as specified in the tal	ble.		~	v
(f) The applican	t must ensure that the central oc	oling system for a cooling tower is or	onfigured as specified in the table.			~	~
Common area	Showerheads rating	Toilets rating	Taps rating	Clothes wa	sher	s rating	
All common areas	no common facility	no common facility	no common facility	not specified	i		
(ii) Energy				Show DA pt		Show on CC/CDC plans & specs	Certifie check
			ervice a common area specified in the table and must meet the efficiency measure spec			V	Ú
in the table I	below, the lighting specified for t ust also install a centralised light	nat common area. This lighting must	f artificial lighting" for each common area s meet the efficiency measure specified. The gement System (BMS) for the common area			~	~
	at according to the continue and f	Access and allered by the Afficiation Comment	ov systems" column of the table below. In e	noh .	_		-

NSW, 2213

Certificate No. #HR-F4XQTR-02



DESIGN NAME: HEMISPHERE 48-MASTER REAR PACKAGE: PRESTIGE

FACADE NAME: ARC JOB NO: 24-1117

BASIX SCALE: @ A3 DATE: SHEET NO: 22.05.25

CLIENT'S NAME: MR EMAD LOKA MRS NARDINE LOKA I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

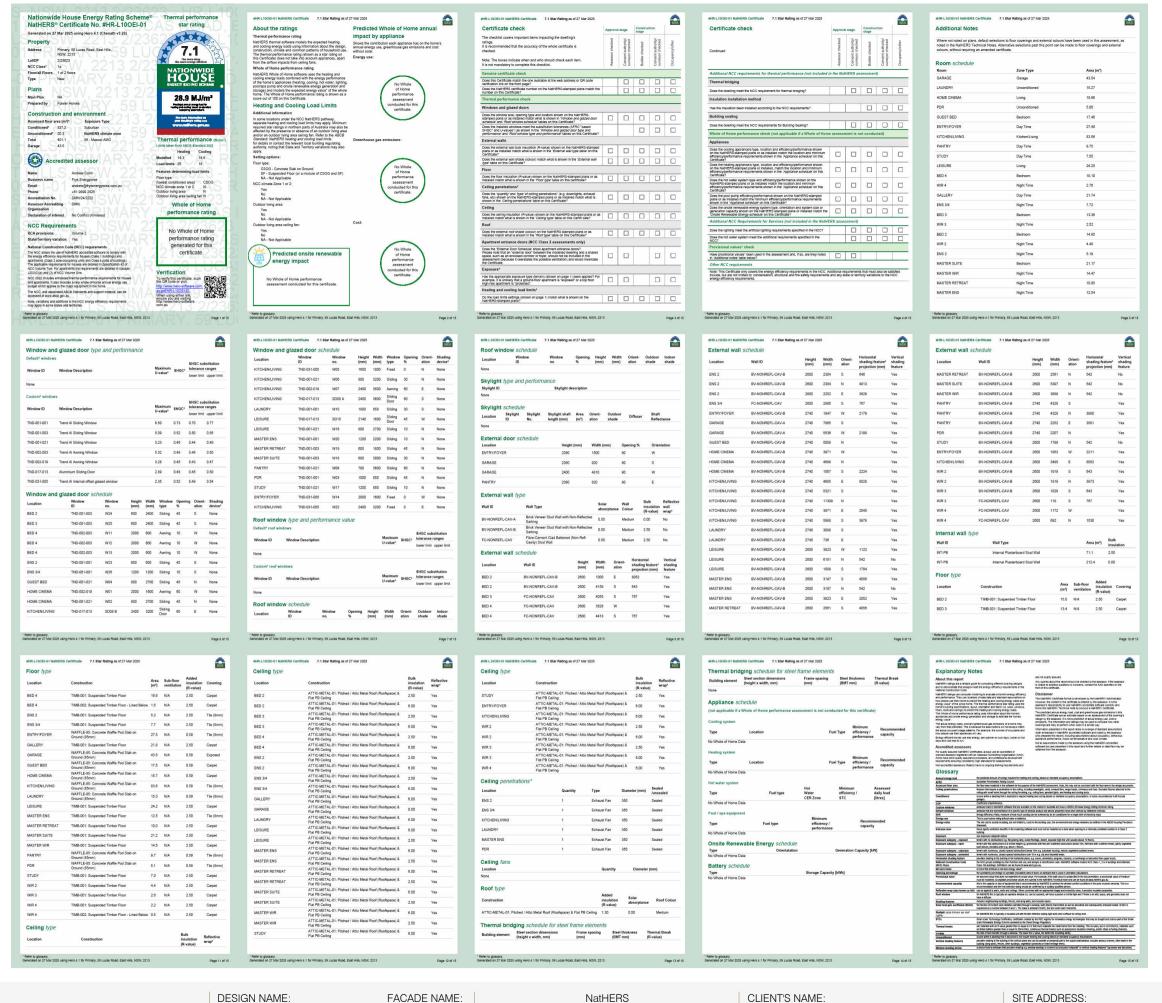
SITE ADDRESS: LOT: 2 DP: 23623 (No. 59) LUCAS ROAD

EAST HILLS

B-1

REVISION:

nission of Fowler Homes Pty Ltd. Builders License 113647C.







FACADE NAME:

ARC JOB NO:

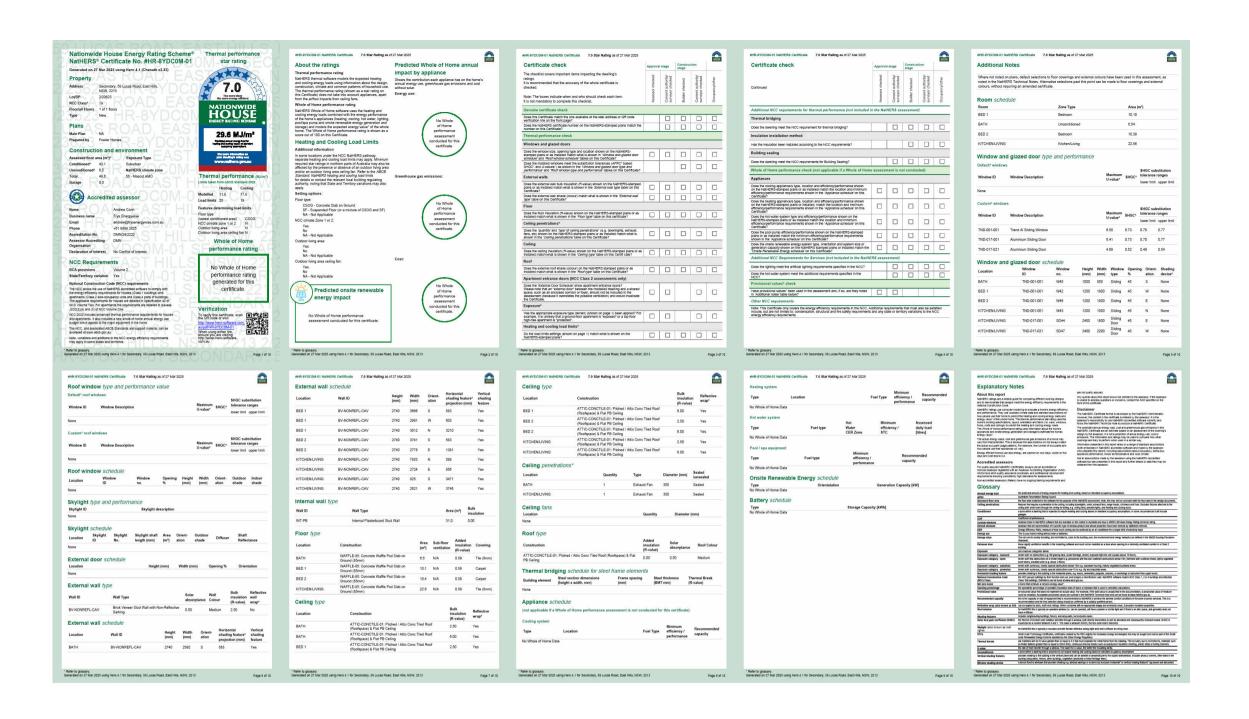
SCALE: @ A3 DATE: SHEET NO: 24-1117 22.05.25

CLIENT'S NAME: MR EMAD LOKA MRS NARDINE LOKA I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES. SITE ADDRESS: LOT: 2 (No. 59) LUCAS ROAD EAST HILLS

DP: 23623

NSW, 2213

B-1





 DESIGN NAME:
 FACADE NAME:
 Nathers

 HEMISPHERE
48-MASTER REAR
PACKAGE:
 ARC
 SCALE: @ A3

 DATE:
 SHEET NO:

 PRESTIGE
 24-1117
 22.05.25
 005

CLIENT'S NAME:

MR EMAD LOKA

LOT: 2

MRS NARDINE LOKA

SIGNATURE:

LACCEPT AND APPROVE CURRENT PLANS AND ALL
DOCLIMENTATION PROVIDED TO ME BY FOWLER HOMES

CLIENT'S NAME:

SITE ADDRESS

(No. 59) LUC

EAST HILLS

SITE ADDRESS:

LOT: 2

DP: 23623

(No. 59) LUCAS ROAD

NSW, 2213

B-1

REVISION:

Certificate No. #HR-F4XQTR-02

I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES. AND FOR THE PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES. AND FOR THE PROVIDED TO ME BY FOWLER HOMES. AND FOR THE PROVIDED TO ME BY FOWLER HOMES. AND FOR THE PROVIDED TO ME BY FOWLER HOMES. AND FOR THE PROVIDED TO ME BY FOWLER HOMES. AND FOWLER HOMES.

SUBJECT TO ARBORIST

COUNCIL: CANTERBURY BANKSTOWN

> **DEVELOPER:** N/A

GROWTH CENTRE:

DA COUNCIL APPROVAL COUNCIL APPROVAL REFER TO COUNCIL REGULATIONS

FOR FURTHER DETAILS. SITE AREA:

SITE COVERAGE

EXCLUDING FIRST FLOOR, PATIO, OUTDOOR RETREAT, BALCONY, DRIVEWAY GROUND FLOOR AREA: 197 26 m²

GARAGE AREA: 46.96 m² GRANNY FLAT AREA: 59 67 m² EXISTING STRUCTURE AREA: 0.00 m² MAX. SITE COVERAGE: GROUND:75 00%

PROPOSED TOTAL GF: 34.08%

FLOOR SPACE RATIO

TOTAL FF: 26.27%

47.75%

AREAS ARE MEASURED FROM INTERNAL FACE OF EXTERNAL WALLS. EXCLUDING GARAGE & VOIDS

GROUND FLOOR FSR: 181.21 m² FIRST FLOOR FSR: 193.21 m² GRANNY FLAT FSR: 51.44 m² EXISTING STRUCTURE FSR: 0.00 m² TOTAL GROSS FLOOR AREA: 425.86 m² ALLOWED FSR: 50.00%

LANDSCAPE AREA

PROPOSED FSR:

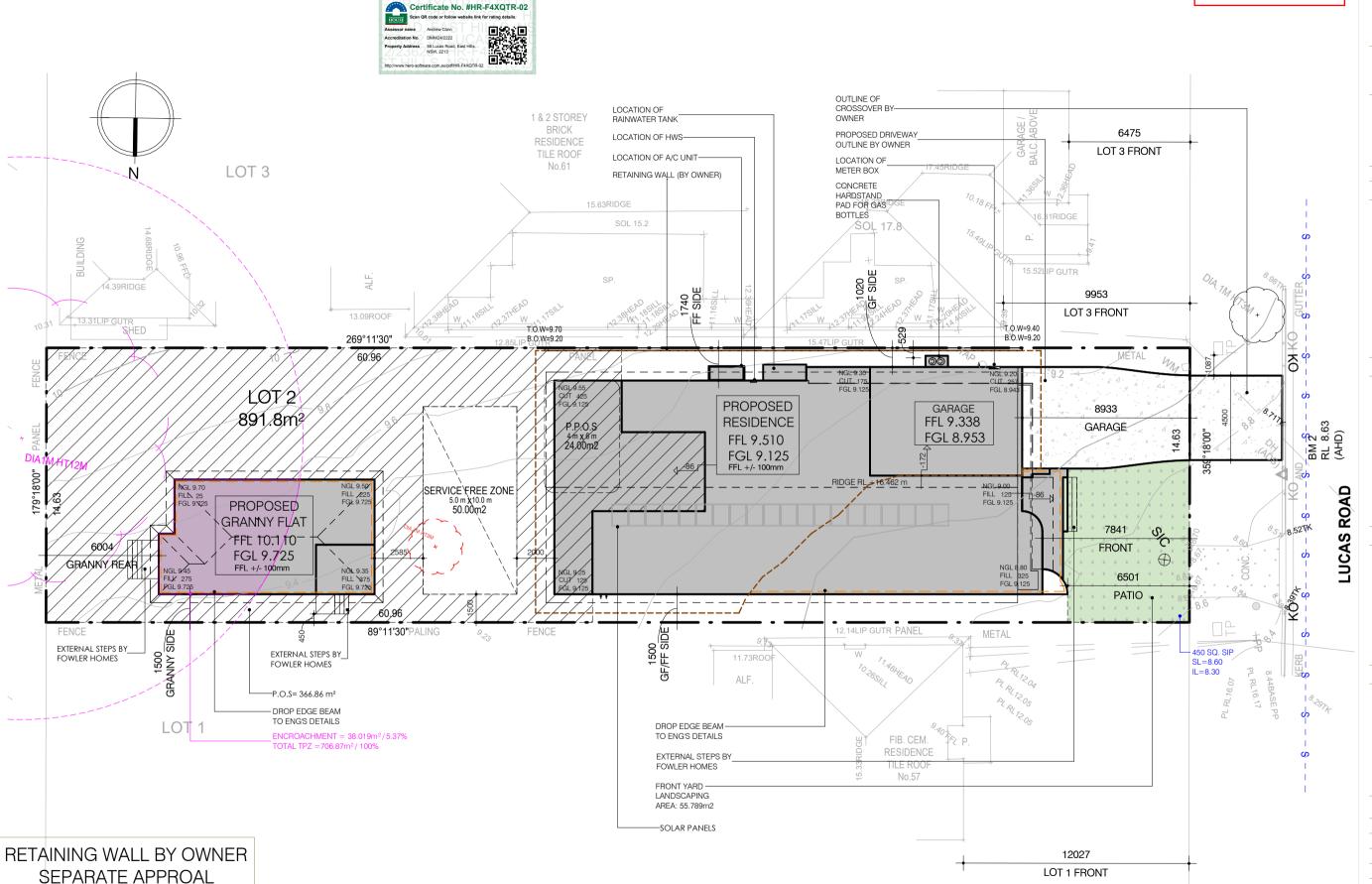
SITE AREA: 891.80 m² TOTAL HARDSTAND AREA: 364.82 m² APPROX DRIVEWAY AREA 50.00 m² LESS THAN 1m: 50.00 m² **EXISTING STRUCTURE** 0.00 m² LANDSCAPED AREA: 426.98 m² MINIMUM LANDSCAPE PROPOSED LANDSCAPE: 47.88%

PRIVATE OPEN SPACE

PRINCIPAL PRIVATE OPEN SPACE: 24.00 m² PRIVATE OPEN SPACE:

LEGEND

CUT/FILL	
DROP EDGE BEAM	
NATURAL GROUND LEVEL	NGL
FINISH GROUND LEVEL	FGL
FINISH FLOOR LEVEL	FFL
PRIVATE OPEN SPACE	



FOWLER YOUR HOME. OUR PASSION

REQUIRED

DESIGN NAME: HEMISPHERE 48-MASTER REAR PACKAGE: **PRESTIGE**

FACADE NAME: **ARC** JOB NO: 24-1117

SITE PLAN SCALE: 1:200 @ A3 DATE: SHEET NO: 22.05.25

CLIENT'S NAME: MR EMAD LOKA MRS NARDINE LOKA I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

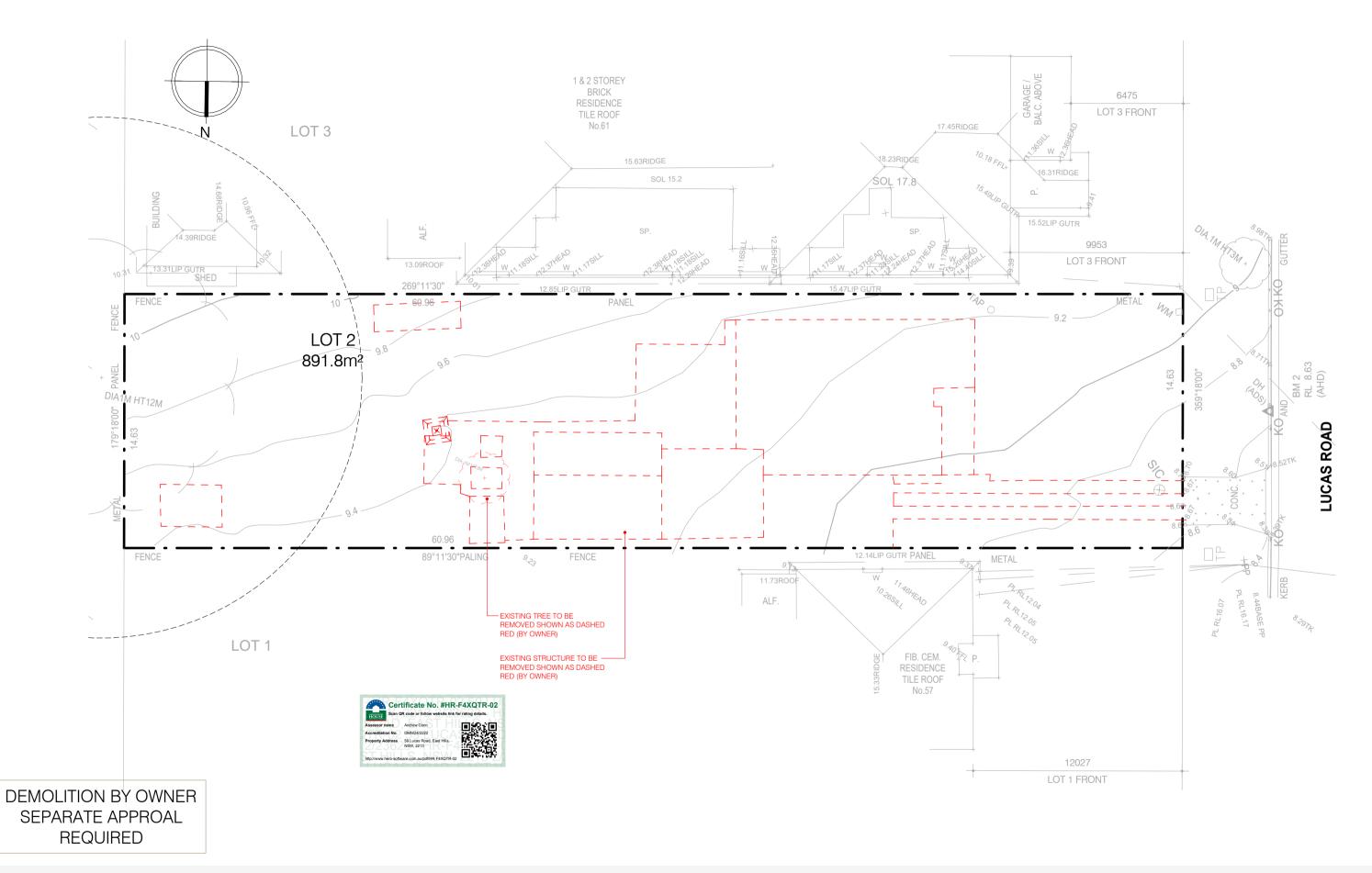
SITE ADDRESS LOT: 2 (No. 59) LUCAS ROAD **EAST HILLS**

DP: 23623

NSW, 2213

REVISION:

nission of Fowler Homes Pty Ltd. Builders License 113647C.





 FACADE NAME:
 DEMOLITION PLAN

 ARC
 SCALE: 1:200 @ A3

 JOB NO:
 DATE:
 SHEET NO:

 24-1117
 22.05.25
 007

CLIENT'S NAME:

MR EMAD LOKA

MRS NARDINE LOKA

SIGNATURE: DATE:

I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

SITE ADDRESS:
LOT: 2 DP: 23623
(No. 59) LUCAS ROAD

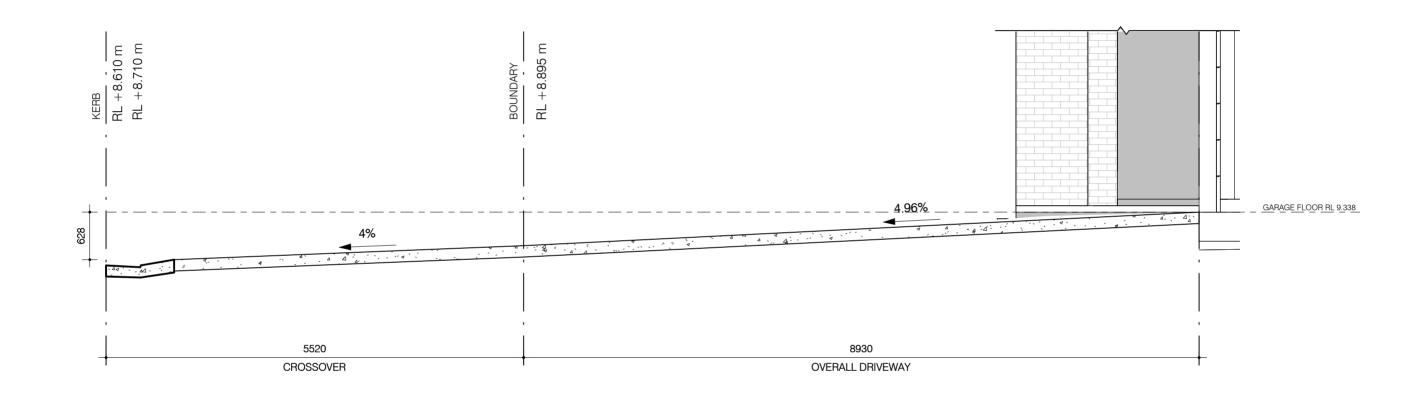
NSW, 2213

EAST HILLS

B-1

REVISION:

DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES to Property of Fowler Homes Pty Ltd. Builders License 113647C.







 FACADE NAME:
 DRIVEWAY DETAILS

 ARC
 SCALE: 1:50 @ A3

 JOB NO:
 DATE:
 SHEET NO:

 24-1117
 22.05.25
 008

CLIENT'S NAME:

MR EMAD LOKA

MRS NARDINE LOKA

SIGNATURE: DATE:

I ACCEPT AND APPROVE CURRENT PLANS AND ALL
DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

I MISSION OF FOWLER HOMES LICENSE 113647C.

SITE ADDRESS:
LOT: 2 DP: 23623
(No. 59) LUCAS ROAD

EAST HILLS NSW, 2213

B-1

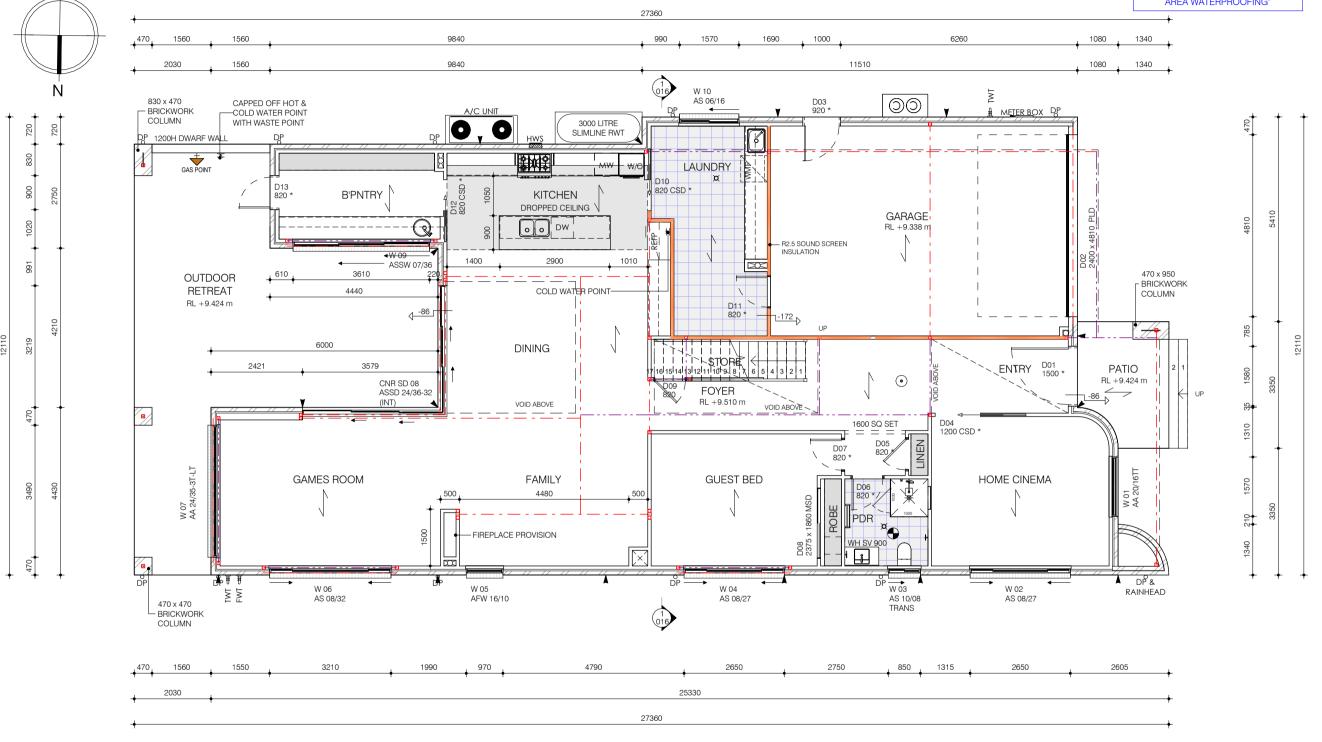
REVISION:

DOCUMENTATION PROVIDED TO ME BY FOWLER HO ht of Plans and Documentation remain the Exclusive Property of Fowler Homes Pty Ltd. Builders License 11364

BLUE WET AREAS INDICATE 40MM RECESSED AREAS TO GROUND FLOOR & 60MM TO FIRST FLOOR TO COMPLY WITH NCC 2022 VOLUME 2 H4D2 ABCB HOUSING PROVISIONS PART 10.2.12.

FLOOR WASTES TO COMPLY WITH ABCB HOUSING PROISIONS PARTS 10.2.7 THROUGH TO 10.2.32.

WATERPROOFING TO COMPLY WITH PART 10.2 OF THE NCC 2022 – "WET AREA WATERPROOFING"



FOWLER YOUR HOME. OUR PASSION.

Certificate No. #HR-F4XQTR-02

DESIGN NAME:
HEMISPHERE
48-MASTER REAR
PACKAGE:
PRESTIGE

FACADE NAME:
ARC
JOB NO:
24-1117

ME: GROUND FLOOR PLAN

RC SCALE: 1:100 @ A3

NO: DATE: SHEET NO:

117 22.05.25 009

CLIENT'S NAME:

MR EMAD LOKA

MRS NARDINE LOKA

SIGNATURE: DATE:

LACCEPT AND APPROVE CURRENT PLANS AND ALL

SITE ADDRESS:
LOT: 2
(No. 59) LUCAS ROAD
- EAST HILLS

DP: 23623

NSW, 2213

B-1

REVISION:

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FLOOR AREAS

NOTES:

2400mm HIGH TO GROUND FLOOR &

 ALL GROUND FLOOR & FIRST FLOOR INTERNAL, ENTRY, EXTERNAL AND

LAUNDRY DOORS TO BE 2340mm HIGH.
• NCC 2022 SERIES BCA VOLUME 2 H5D3
ABCB HOUSING PROVISIONS PART

 ALL BATHROOMS, LAUNDRIES AND POWDER ROOMS, (THAT DO NOT HAVE

HAVE AN EXHAUST FAN PROVIDED TO COMPLY WITH NCC 2022 SERIES BCA VOLUME 2 H4D7 ABCB HOUSING PROVISIONS PART 10.8.2(1) – (3).
• FLOOR WASTES ARE TO COMPLY WITH NCC 2022 VOLUME 2 H4D2 ABCB HOUSING PROVISIONS PART 10.2.12.

A NCC 2022 SERIES BCA VOLUME 2

H4D7 ABCB HOUSING PROVISIONS PART 10.6 COMPLIANT WINDOW) TO

 WET AREA WATERPROOFING TO COMPLY WITH ABCB HOUSING

PROVISIONS PARTS 10.2.7 THROUGH

- R2.5 INSULATION BETWEEN FLOORS - R2.5 WALL INSULATION TO ALL EXTERNAL WALLS

- R2.5 WALL INSULATION TO INTERNAL WALLS OF GARAGE, L'DRY

- LOW-E DOUBLE GLAZED TO SELECTED WINDOWS
EXCLUDING WET AREAS - REFER SCHEDULE

LEGEND

WASHING MACHINE PROVISION

MICROWAVE

DISHWASHER

FRIDGE PROVISION 2340 HIGH DOORS

SMOKE ALARM

EXHAUST FAN

FLOOR WASTE

WASTE STACK

EXPANSION JOINTS

ROOF ACCESS

STRUCTURAL BEAMS TO ENGINEER'S SPECIFICATIONS

FLOOR JOIST DIRECTION

TANK WATER TAP

FRESH WATER TAP

DOWN PIPE LOCATION

- R6.0 CEILING INSULATION TO ROOF ABOVE - R2.5 CEILING INSULATION TO LOW EDGE OF ROOF ABOVE

• ALL SQUARE SET OPENINGS TO BE

FIRST FLOOR.

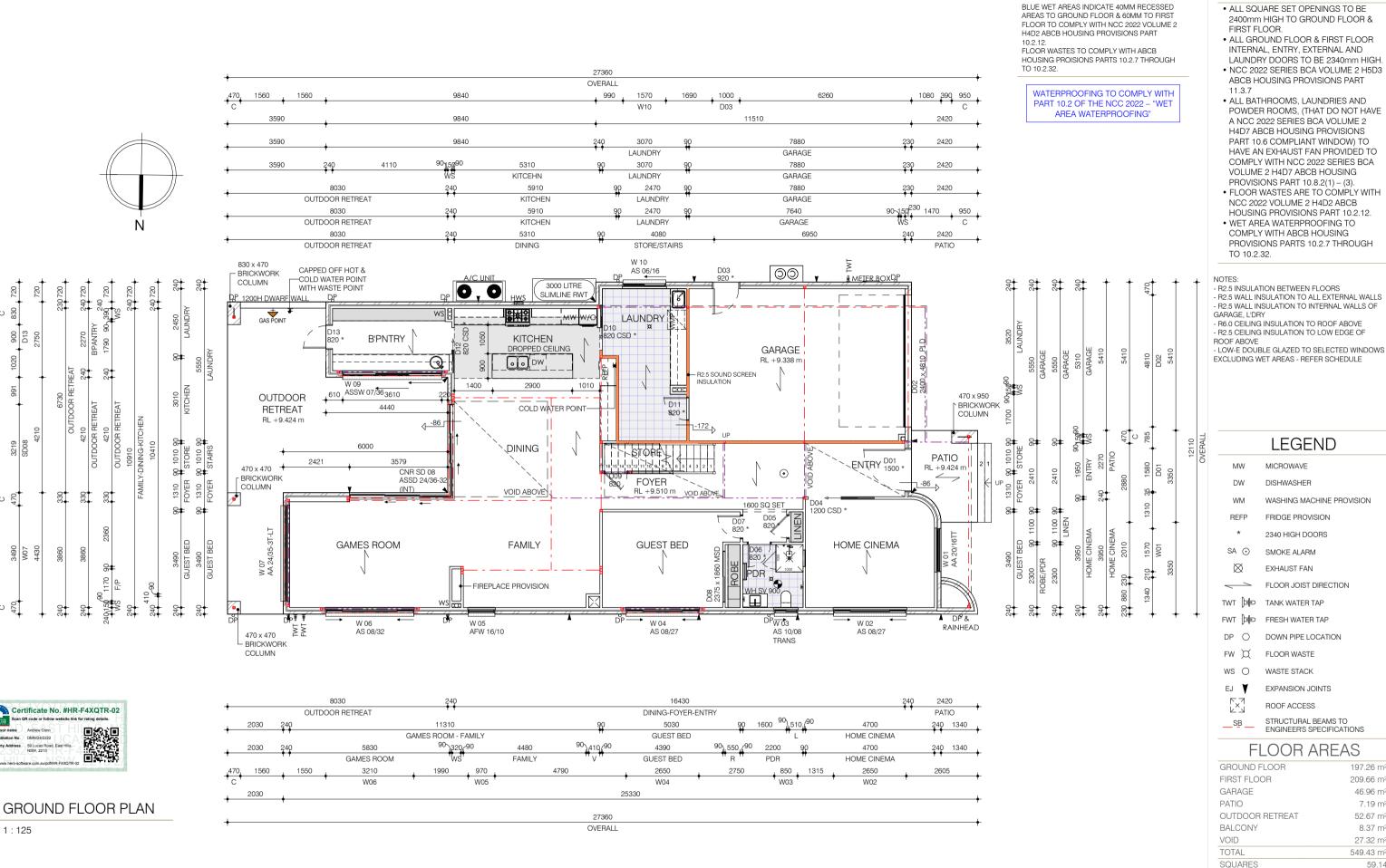
11.3.7

TO 10.2.32.

MW

 \boxtimes

GROUND FLOOR	197.26 m ²
FIRST FLOOR	209.66 m ²
GARAGE	46.96 m ²
PATIO	7.19 m ²
OUTDOOR RETREAT	52.67 m ²
BALCONY	8.37 m ²
VOID	27.32 m ²
TOTAL	549.43 m ²
SQUARES	59.14





230 720

88

Certificate No. #HR-F4XQTR-02

1:125

900 D13

DESIGN NAME: **HEMISPHERE** 48-MASTER REAR PACKAGE: **PRESTIGE**

FACADE NAME: **ARC** JOB NO: 24-1117

GROUND FLOOR PLAN WITH MEASUREMENTS SCALE: As indicated @ A3 DATE: SHEET NO: 22.05.25

CLIENT'S NAME: MR EMAD LOKA MRS NARDINE LOKA I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

SITE ADDRESS: LOT: 2 (No. 59) LUCAS ROAD

EAST HILLS

DP: 23623

B-1

197.26 m²

209.66 m²

46.96 m²

7.19 m²

52.67 m²

8.37 m²

27.32 m²

549.43 m²

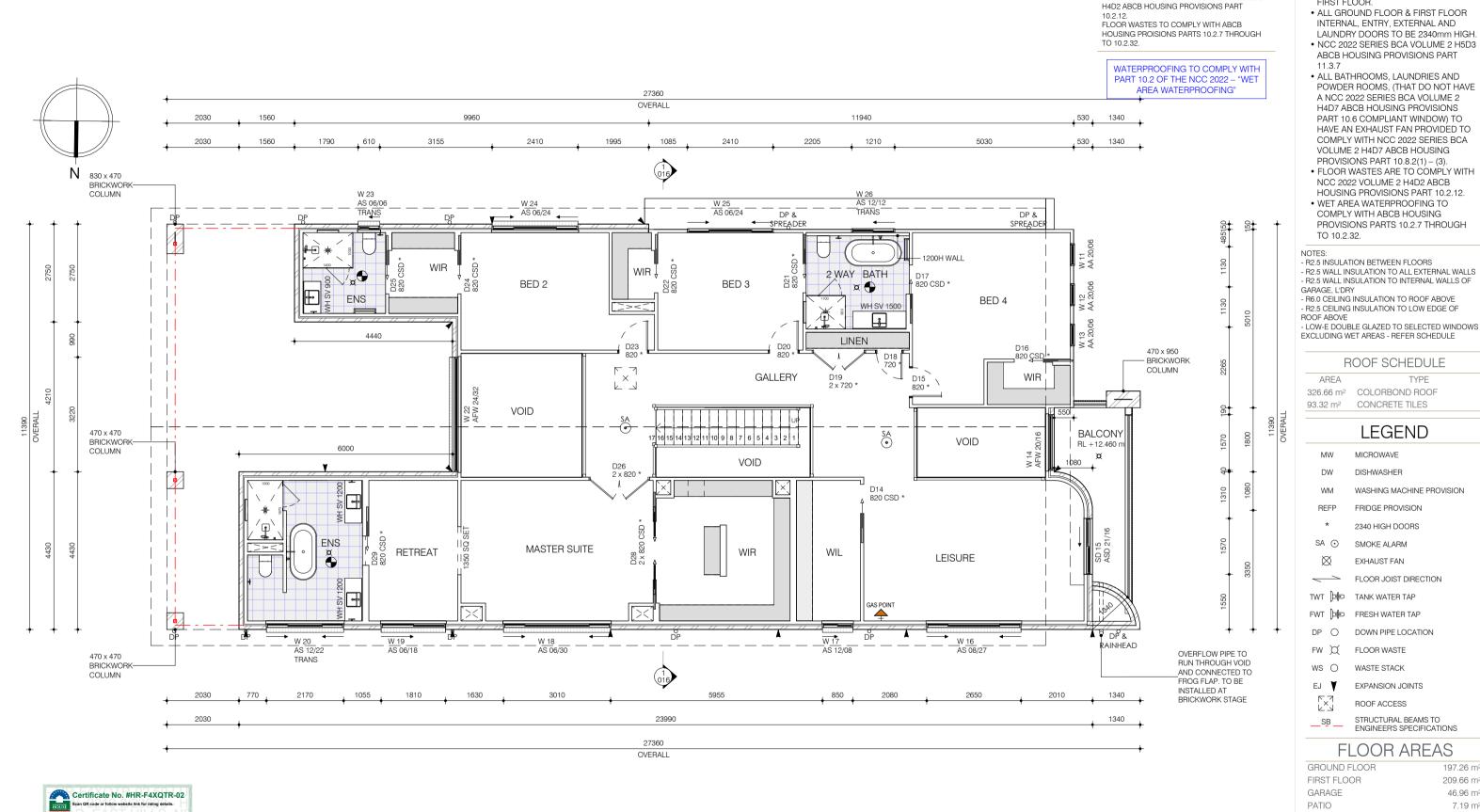
REVISION:

59.14

NOTES:

NSW, 2213

nission of Fowler Homes Pty Ltd. Builders License 113647C.





FACADE NAME: **ARC** JOB NO: 24-1117

FIRST FLOOR PLAN SCALE: 1:100@A3 DATE: SHEET NO: 22.05.25 011

CLIENT'S NAME: MR EMAD LOKA MRS NARDINE LOKA I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

SITE ADDRESS: LOT: 2 (No. 59) LUCAS ROAD

EAST HILLS

DP: 23623

NSW, 2213

PATIO

VOID

TOTAL

BALCONY

SQUARES

OUTDOOR RETREAT

B-1

197.26 m²

209.66 m²

46.96 m²

7.19 m²

52.67 m²

8.37 m²

27.32 m²

549.43 m²

59.14

REVISION:

NOTES:

2400mm HIGH TO GROUND FLOOR &

• ALL SQUARE SET OPENINGS TO BE

FIRST FLOOR.

BLUE WET AREAS INDICATE 40MM RECESSED

AREAS TO GROUND FLOOR & 60MM TO FIRST FLOOR TO COMPLY WITH NCC 2022 VOLUME 2

mission of Fowler Homes Pty Ltd. Builders License 113647C.



NOTES:

- ALL SQUARE SET OPENINGS TO BE 2400mm HIGH TO GROUND FLOOR &
- FIRST FLOOR. • ALL GROUND FLOOR & FIRST FLOOR INTERNAL, ENTRY, EXTERNAL AND
- LAUNDRY DOORS TO BE 2340mm HIGH • NCC 2022 SERIES BCA VOLUME 2 H5D3 ABCB HOUSING PROVISIONS PART
- ALL BATHROOMS, LAUNDRIES AND POWDER ROOMS, (THAT DO NOT HAVE A NCC 2022 SERIES BCA VOLUME 2 H4D7 ABCB HOUSING PROVISIONS PART 10.6 COMPLIANT WINDOW) TO HAVE AN EXHAUST FAN PROVIDED TO COMPLY WITH NCC 2022 SERIES BCA VOLUME 2 H4D7 ABCB HOUSING PROVISIONS PART 10.8.2(1) - (3).
- FLOOR WASTES ARE TO COMPLY WITH NCC 2022 VOLUME 2 H4D2 ABCB HOUSING PROVISIONS PART 10.2.12.
- WET AREA WATERPROOFING TO COMPLY WITH ABCB HOUSING PROVISIONS PARTS 10.2.7 THROUGH TO 10.2.32.

BLUE WET AREAS INDICATE 40MM RECESSED

AREAS TO GROUND FLOOR & 60MM TO FIRST FLOOR TO COMPLY WITH NCC 2022 VOLUME 2

H4D2 ABCB HOUSING PROVISIONS PART

FLOOR WASTES TO COMPLY WITH ABCB

- R2.5 INSULATION BETWEEN FLOORS - R2.5 WALL INSULATION TO ALL EXTERNAL WALLS - R2.5 WALL INSULATION TO INTERNAL WALLS OF
- R6.0 CEILING INSULATION TO ROOF ABOVE
- R2.5 CEILING INSULATION TO LOW EDGE OF BOOF ABOVE
- LOW-E DOUBLE GLAZED TO SELECTED WINDOWS EXCLUDING WET AREAS - REFER SCHEDULE

ROOF SCHEDULE

AREA 326.66 m² COLORBOND ROOF CONCRETE TILES

LEGEND

MICROWAVE

DISHWASHER

WASHING MACHINE PROVISION

FRIDGE PROVISION

2340 HIGH DOORS

SA ① SMOKE ALARM

EXHAUST FAN

FLOOR JOIST DIRECTION

TANK WATER TAP

FRESH WATER TAP

DOWN PIPE LOCATION

FLOOR WASTE

WASTE STACK ws O

EXPANSION JOINTS

ROOF ACCESS STRUCTURAL BEAMS TO ENGINEER'S SPECIFICATIONS

FLOOR AREAS

GHU	JND FLOOR	197.20 1112
FIRST	FLOOR	209.66 m ²
GARA	4GE	46.96 m ²
PATIC)	7.19 m ²
OUTE	OOR RETREAT	52.67 m ²
BALC	ONY	8.37 m ²
VOID		27.32 m ²
TOTA	L	549.43 m ²
SQUA	ARES	59.14

FOWLER YOUR HOME. OUR PASSION

DESIGN NAME: HEMISPHERE 48-MASTER REAR PACKAGE: **PRESTIGE**

FACADE NAME: JOB NO:

FIRST FLOOR PLAN WITH MEASUREMENTS **ARC** SCALE: As indicated @ A3 DATE: SHEET NO: 24-1117 22.05.25

CLIENT'S NAME: MR EMAD LOKA MRS NARDINE LOKA I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

LOT: 2 (No. 59) LUCAS ROAD

EAST HILLS

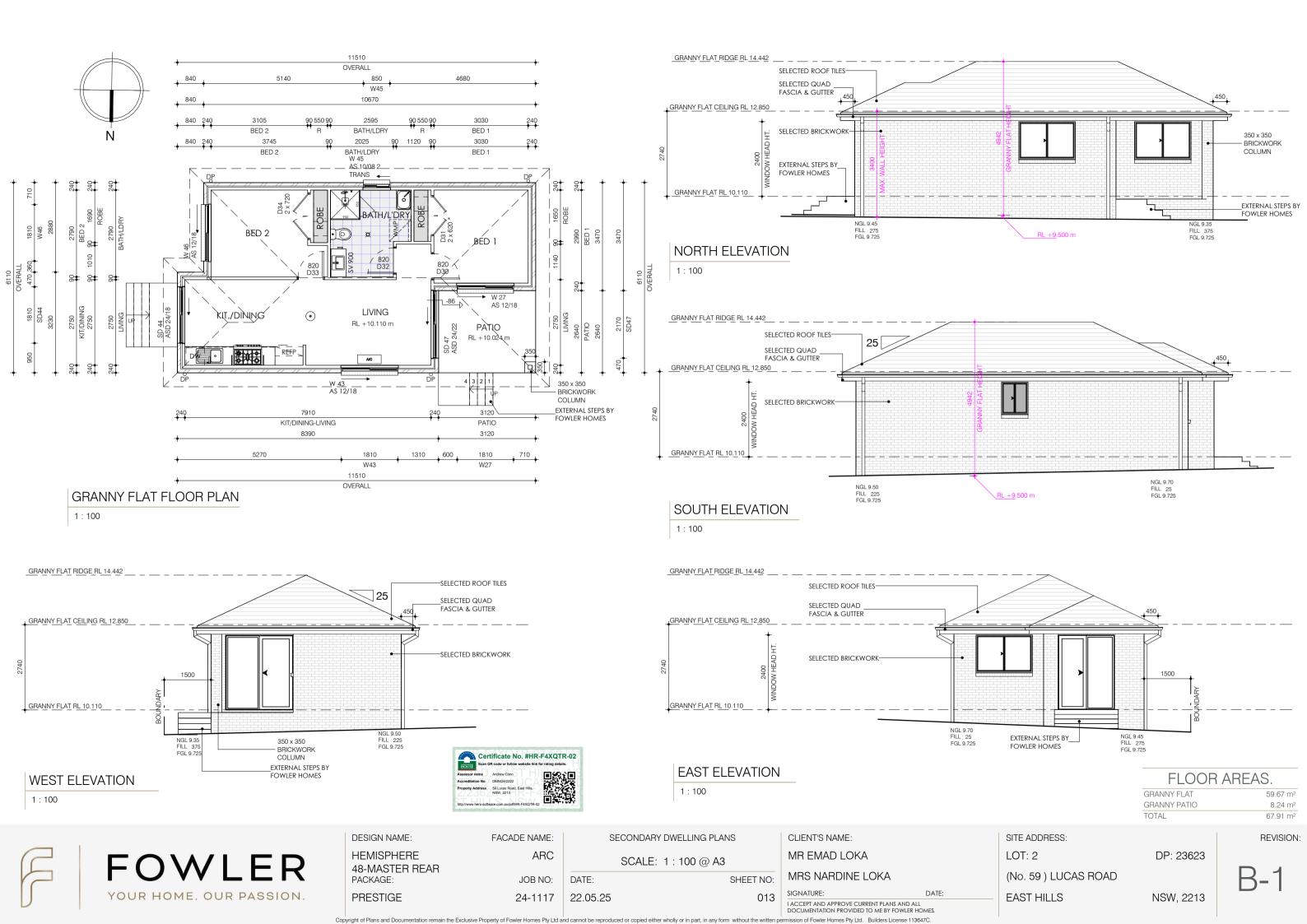
DP: 23623

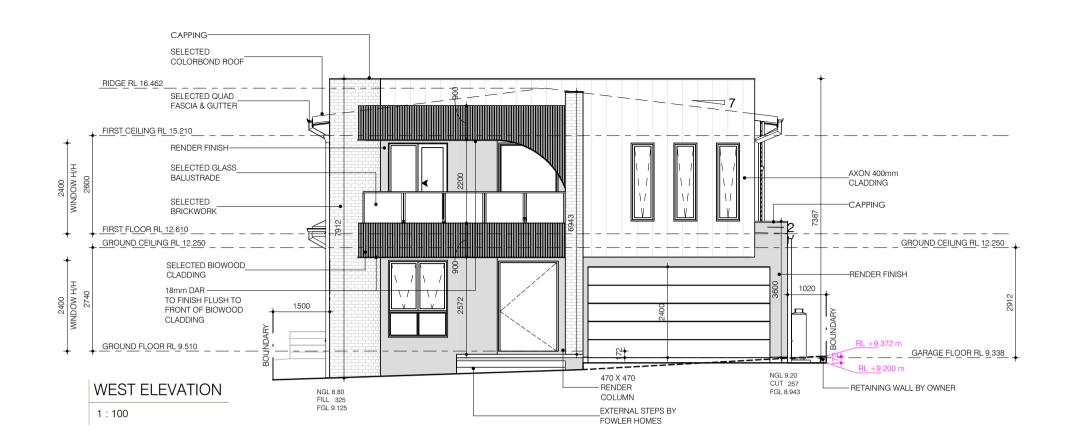
NSW, 2213

B-1

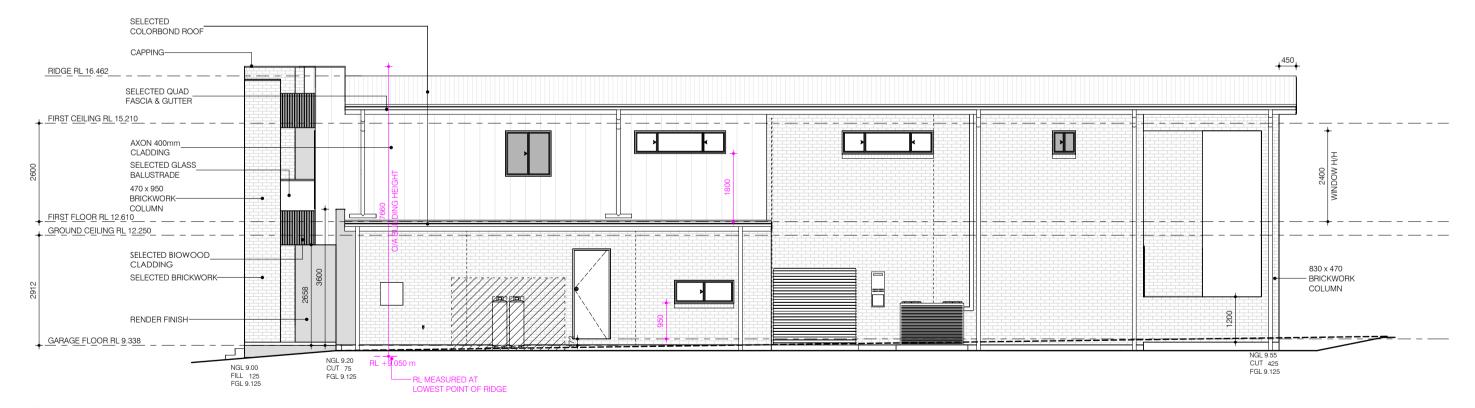
REVISION:

nission of Fowler Homes Pty Ltd. Builders License 113647C.









SOUTH ELEVATION

1:100

YOUR HOME. OUR PASSION.

DESIGN NAME: HEMISPHERE 48-MASTER REAR PACKAGE: PRESTIGE

FACADE NAME: ARC JOB NO: 24-1117

ELEVATIONS SCALE: 1:100@A3 DATE: SHEET NO: 22.05.25

CLIENT'S NAME: MR EMAD LOKA MRS NARDINE LOKA I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

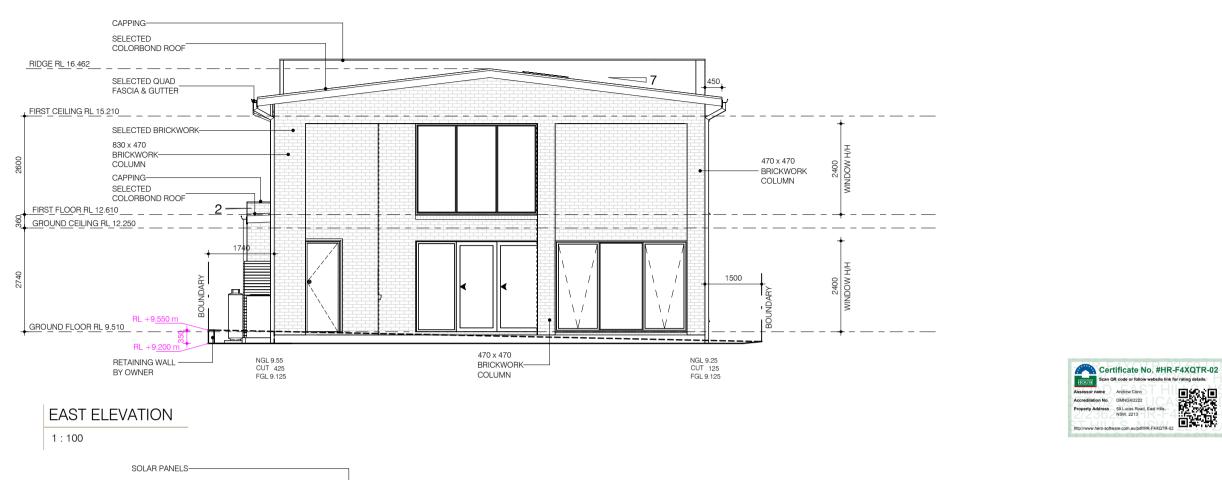
SITE ADDRESS: LOT: 2 DP: 23623

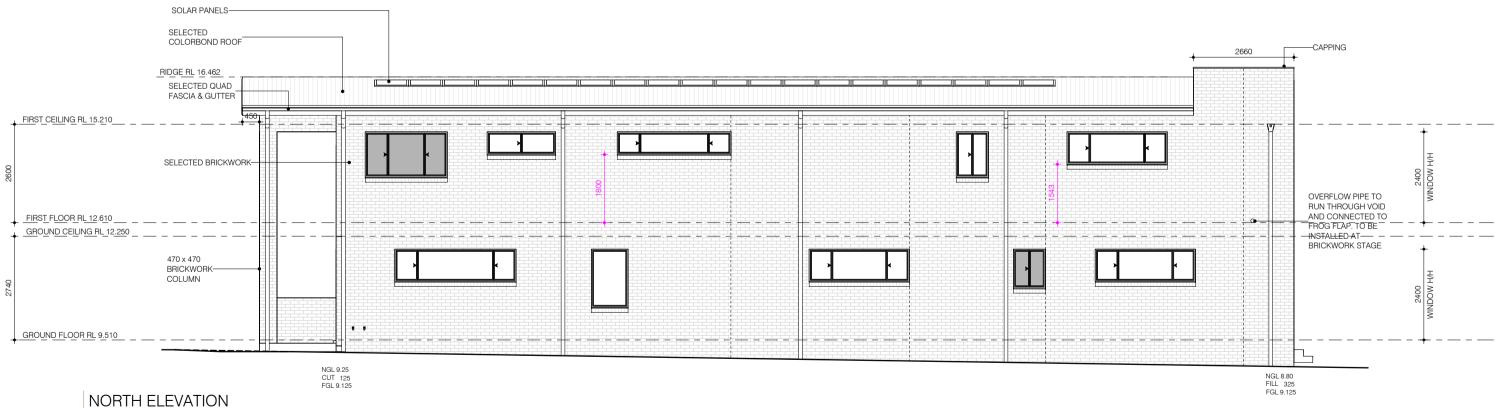
(No. 59) LUCAS ROAD EAST HILLS

NSW, 2213

REVISION:

rmission of Fowler Homes Pty Ltd. Builders License 113647C.





FOWLER YOUR HOME. OUR PASSION.

1:100

DESIGN NAME: HEMISPHERE 48-MASTER REAR PACKAGE: PRESTIGE

FACADE NAME: ARC JOB NO: 24-1117

ELEVATIONS SCALE: 1:100@A3 DATE: SHEET NO: 22.05.25

CLIENT'S NAME: MR EMAD LOKA MRS NARDINE LOKA

SITE ADDRESS: LOT: 2

DP: 23623

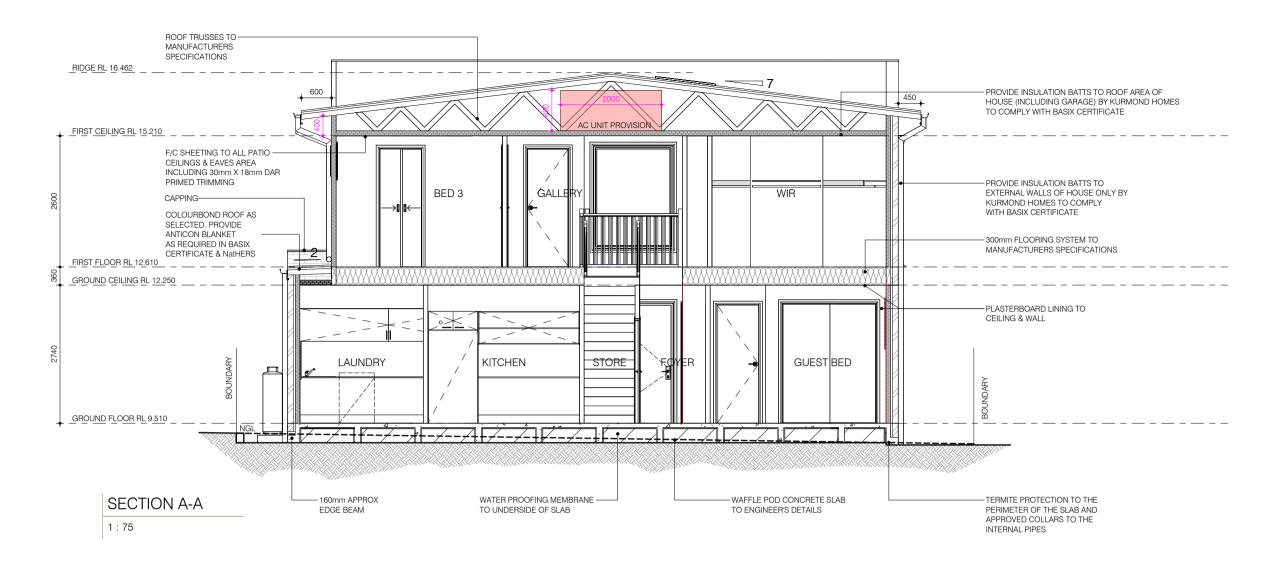
REVISION:

(No. 59) LUCAS ROAD

EAST HILLS

NSW, 2213

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NCC NOTES:

- DWELLING CONSISTS OF TIMBER FRAMES
- MECHANICAL VENTILATION MUST HAVE MINIMUM EXHAUST RATE OF 25L/A, WITH EXHAUST BEING DUCTED TO THE OUTSIDE WITH THE FANS BEING ACTIVATED BY THE LIGHT SWITCH AND HAVING A 10-MINUTE RUN ON AS REQUIRED BY THE NCC 2022 SERIES BCA VOLUME 2 H4D7 HOUSING PROVISIONS PART 10.6.2.
- WET AREAS TO BE 40MM RECESSED AREAS TO GROUND FLOOR & 50MM TO FIRST FLOOR TO COMPLY WITH NCC 2022 VOLUME 2 H4D2 ABCB HOUSING PROVISIONS PART 10.2.12.
- FLOOR WASTE LOCATIONS TO BE CONFIRMED AT CONSTRUCTION DRAWINGS TO COMPLY WITH ABCB HOUSING PROVISIONS PARTS 10.2.7 THROUGH 10.2.32.
- ALL EXTERNAL SIDE HUNG DOOR AND ANY INTERNAL SIDE HUNG DOOR BETWEEN THE DWELLING AND THE GARAGE AS BEING PROVIDED WITH A DRAFT PROTECTION DEVICE AND THE OUTER EDGES OF THE DOOR BEING FITTED WITH A FOAM, RUBBER COMPRESSIBLE STRIP, FIBROUS SEAL OR THE LIKE TO RESTRICT AIR INFILTRATION TO COMPLY WITH NCC 2022 BCA VOLUME 2 PART H6 HOUSING PROVISIONS 13.4.4.
- SHOULD A PLIABLE MEMBRANE BE PROPOSED PROVIDE PLANS NOMINATING THE MEMBRANE HAS A 'VAPOUR PERMEANCE' OF NO LESS THAN 1.14ug/N.s AS REQUIRED BY THE NCC 2022 BCA VOLUME 2 HOUSING PROVISIONS 10.8.1(2)(B) 7. PROVIDE PLANS INDICATING THE LOCATIONS OF THE REQUIRED MINIMUM OF 7000 mm²/M OF ROOF VENTILATION AT THE EAVES AS REQUIRED BY THE NCC 2022 BCA VOLUME 2 HOUSING PROVISIONS 10.8.3(1)(C) AND TABLE 10.8.3.
- CEILING INSTALLATION BEING INSTALLED SO THAT THERE IS A MINIMUM GAP OF 20MM BETWEEN INSULATION AND SARKING TO COMPLY WITH NCC 2022 BCA VOLUME 2 HOUSING PROVISIONS 10.8.3(1)(B) AND EXPLANATORY FIGURE 10.8.3.
- DWELLING IS LOCATED WITHIN CLIMATE ZONE 6 AND SHOULD BE CONSTRUCTED IN ACCORDANCE WITH THE RELEVANT NCC PROVISIONS.

PROJECT (rt 10.8 Condensation Management	
ROOF DESCRIPTION:	ROOF "A"	
BUSHFIRE AFFECTED:	NO	
CLIMATE ZONE:		
ROOF PITCH:	7°	
EAVE LENGTH:	25.15m	
CALCULA	ATIONS	
EAVE VENT AREA REQUIRED:	628750mm ²	
ROOF VENT AREA REQUIRED:	0mm²	
SPECIFICA	ATIONS	
EXTERNAL WALL C	CONSTRUCTION:	
PLIABLE MEMBRANE:	YES	
WALL WRAP PERMEANCE VALUE:	1.14 ug/N.s	
EAVE VE	ENTS:	
EAVE VENT MANUFACTURER AND MODEL:	BRADFORD METAL EAVE VENT	
EAVE VENT OPENNESS FACTOR:	35000 mm ²	
NUMBER OF EAVE VENTS REQUIRED:	17.964286	
ROOF VI	ENTS:	
ROOF VENT MANUFACTURER AND MODEL:	AMPELITE SPINAWAY	
ROOF VENT OPENNESS FACTOR:	62500 mm ²	
NUMBER OF ROOF VENTS REQUIRED:	0	





 DESIGN NAME:
 FACADE NAME:
 SECTION

 HEMISPHERE 48-MASTER REAR PACKAGE:
 ARC JOB NO:
 SCALE: 1:75 @ A3

 DATE:
 SHEET NO:

 PRESTIGE
 24-1117
 22.05.25
 016

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CLIENT'S NAME:

MR EMAD LOKA

MRS NARDINE LOKA

SIGNATURE:

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SITE ADDRESS:

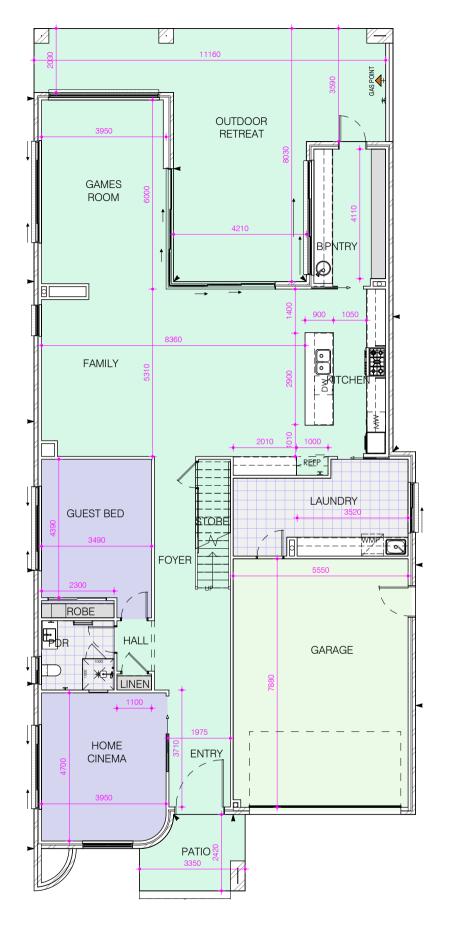
LOT: 2

DP: 23623

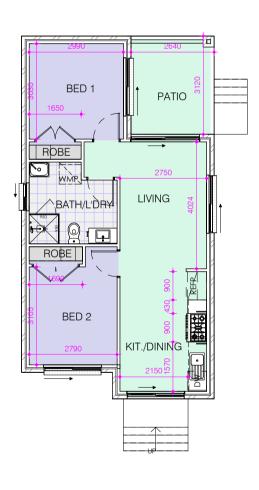
(No. 59) LUCAS ROAD

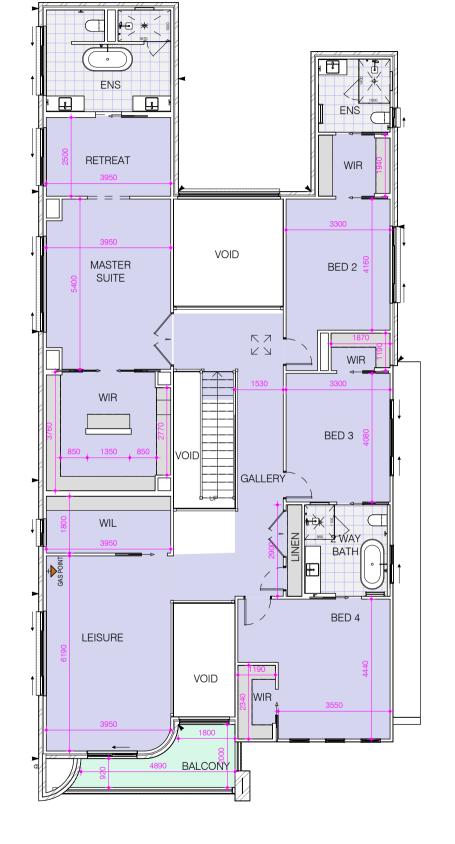
EAST HILLS NSW, 2213

3-1









GROUND FLOOR PLAN

GRANNY FLAT FLOOR PLAN

FIRST FLOOR PLAN



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DESIGN NAME: HEMISPHERE PRESTIGE

48-MASTER REAR PACKAGE:

FACADE NAME: ARC JOB NO: 24-1117

FLOOR COVERING PLAN SCALE: 1:120@A3 DATE: SHEET NO: 22.05.25

CLIENT'S NAME: MR EMAD LOKA MRS NARDINE LOKA I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

SITE ADDRESS: LOT: 2 (No. 59) LUCAS ROAD

DP: 23623

CARPET

EPOXY

TILES

CONCRETE

EAST HILLS NSW, 2213

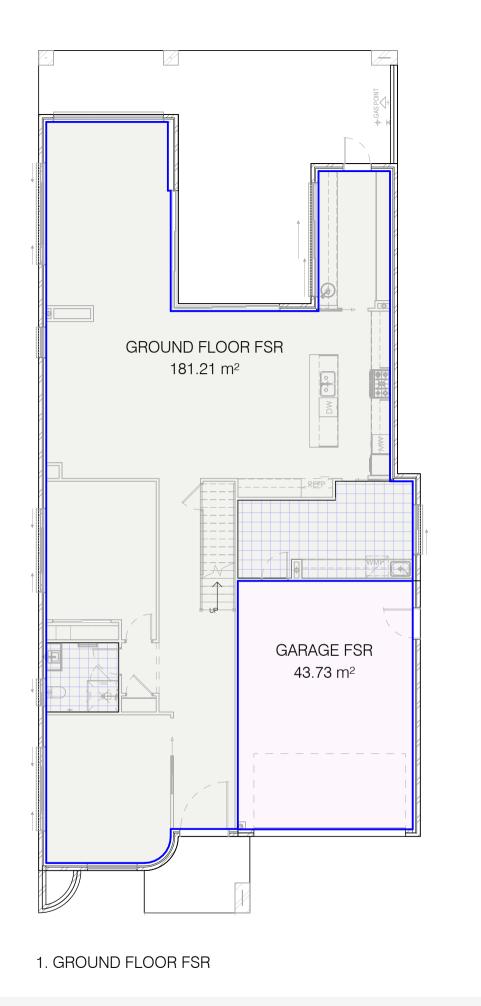
REVISION:

ALPHA FLOOR PANELS

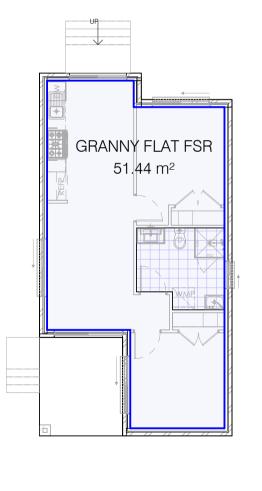
FOR FIRST FLOOR

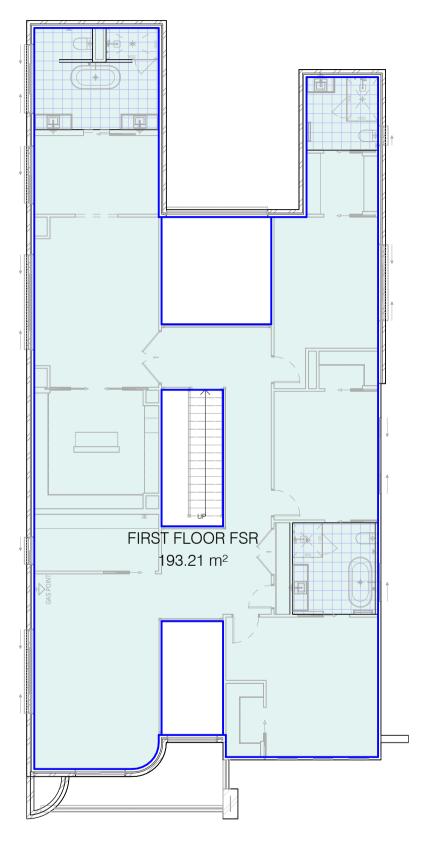
PROVIDE SAND & CEMENT SCREEDED BED TO MAIN FLOOR TILES, OUTDOOR RETREAT & PATIO FOR A 40mm FINISH FLOOR COVERINGS

mission of Fowler Homes Pty Ltd. Builders License 113647C.









FLOOR SPACE AREA

GROUND FLOOR FSR 181.21 m² GRANNY FLAT FSR 51.44 m² GARAGE FSR 43.73 m² FIRST FLOOR FSR

COLOUR SCHEME

GROUND FLOOR FSR

GARAGE FSR

GRANNY FLAT FSR

FIRST FLOOR FSR

REVISION:

3. GRANNY FLAT FSR

2. FIRST FLOOR FSR



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PRESTIGE

DESIGN NAME: HEMISPHERE 48-MASTER REAR PACKAGE: FACADE NAME:

FLOOR SPACE RATIO PLAN ARC SCALE: 1:120@A3 DATE: SHEET NO: JOB NO: 24-1117 22.05.25

CLIENT'S NAME: MR EMAD LOKA MRS NARDINE LOKA

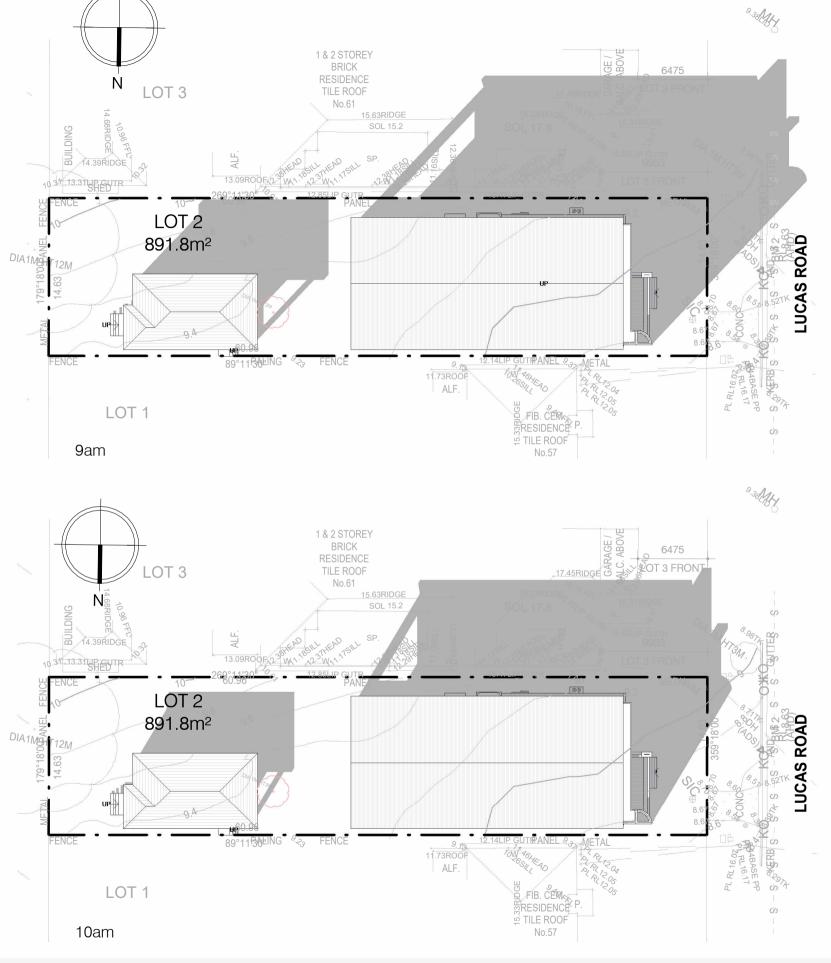
LOT: 2 (No. 59) LUCAS ROAD EAST HILLS

SITE ADDRESS:

DP: 23623

B-1 NSW, 2213

I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.







FACADE NAME: SHAD

ARC

JOB NO: DATE:

24-1117 22.05.2

SHADOW DIAGRAMS, 21st JUNE 9am & 10am

SCALE: 1: 350 @ A3

DATE: SHEET NO: 22.05.25 019

CLIENT'S NAME:

MR EMAD LOKA

MRS NARDINE LOKA

SIGNATURE: DATE:

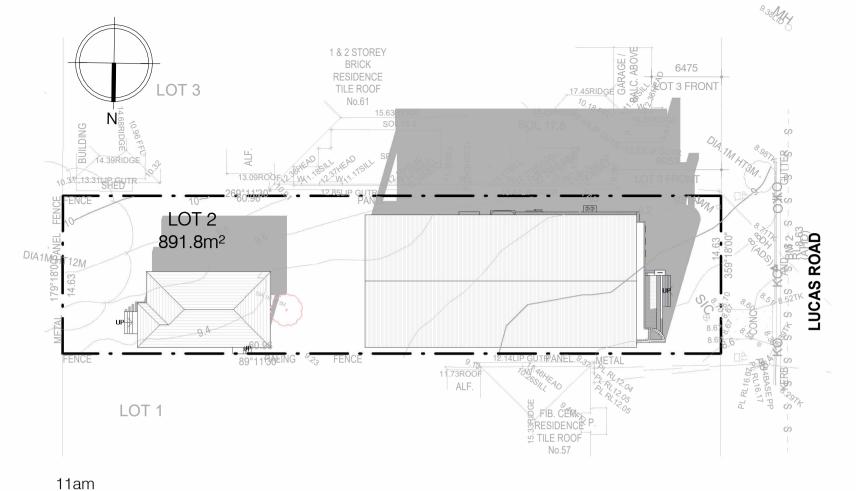
I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES

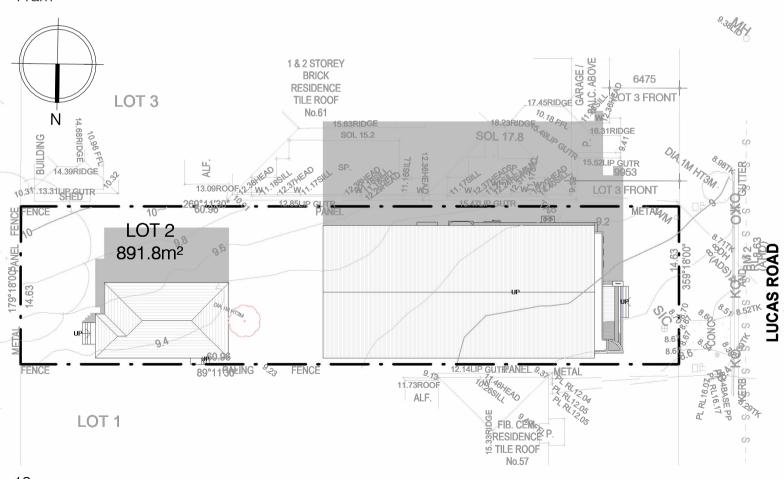
SITE ADDRESS:
LOT: 2 DP: 23623

(No. 59) LUCAS ROAD

EAST HILLS NSW, 2213

B-1







12noon

FOWLER
YOUR HOME. OUR PASSION.

DESIGN NAME:	FACADE NAME:	SHADOW E	DIAGRAMS, 21st JUNE 11am & 12noon
HEMISPHERE 48-MASTER REAR	ARC		SCALE: 1 : 350 @ A3
PACKAGE:	JOB NO:	DATE:	SHEET NO:
PRESTIGE	24-1117	22.05.25	020

CLIENT'S NAME:

MR EMAD LOKA

MRS NARDINE LOKA

SIGNATURE:

DATE:

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DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES

SITE ADDRESS:

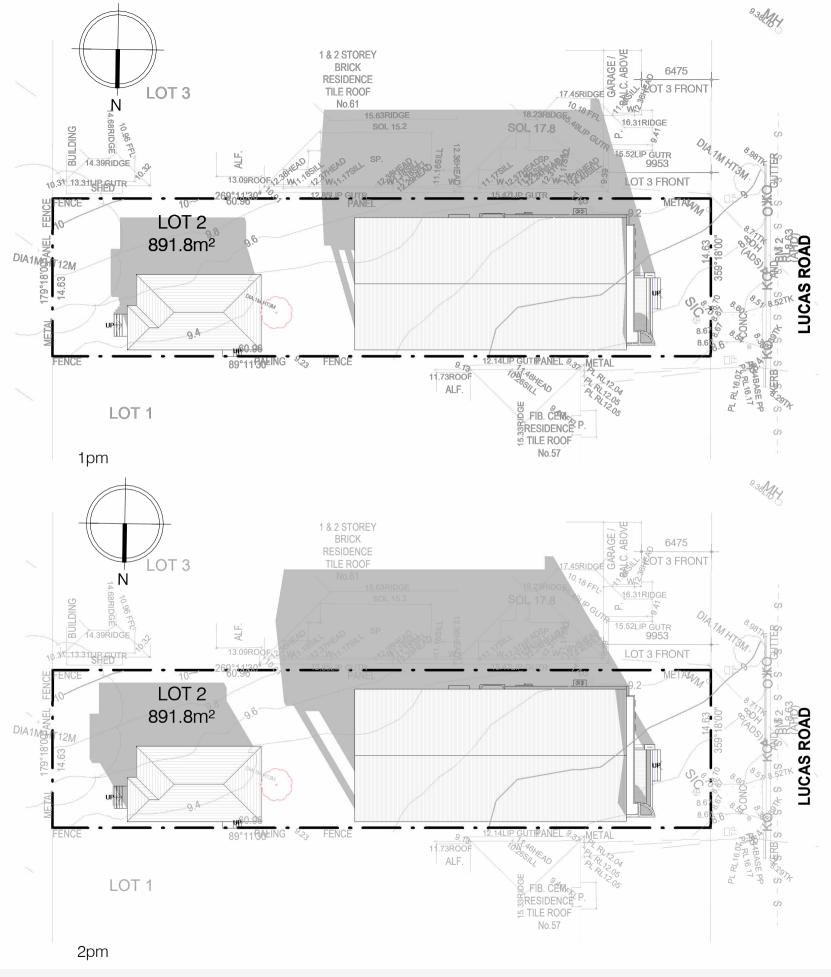
LOT: 2

DP: 23623

(No. 59) LUCAS ROAD

EAST HILLS NSW, 2213

B-1







 DESIGN NAME:
 FACADE NAME:
 SHADOW DIAGRAMS, 21st JUNE 1pm & 2pm

 HEMISPHERE
 ARC
 SCALE: 1: 350 @ A3

 48-MASTER REAR
 JOB NO:
 DATE:
 SHEET NO:

 PRESTIGE
 24-1117
 22.05.25
 021

CLIENT'S NAME:

MR EMAD LOKA

MRS NARDINE LOKA

SIGNATURE: DATE:

I ACCEPT AND APPROVE CURRENT PLANS AND ALL
DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES

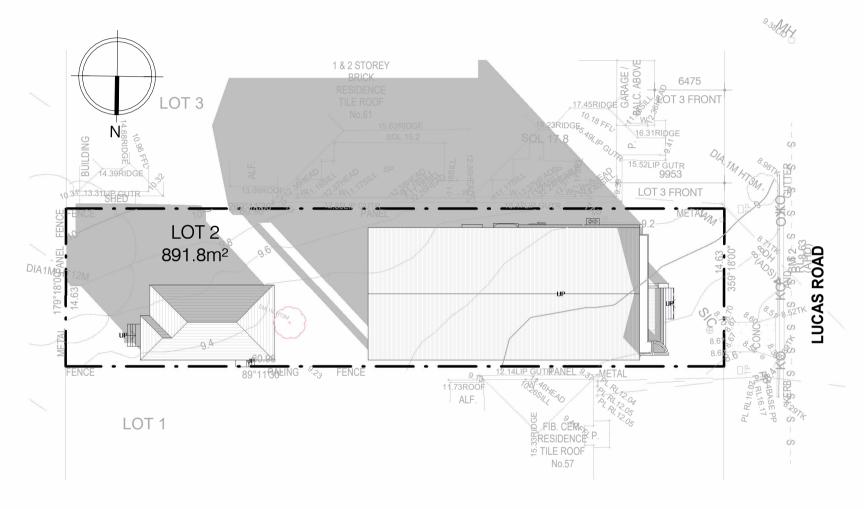
SITE ADDRESS:

LOT: 2 DP: 23623

(No. 59) LUCAS ROAD

EAST HILLS NSW, 2213

B-1





3pm

	FOWLER
IJ	YOUR HOME. OUR PASSION.

 DESIGN NAME:
 FACADE NAME:
 SHADOW DIAGRAMS, 21st JUNE 3pm

 HEMISPHERE
 ARC
 SCALE: 1: 350 @ A3

 48-MASTER REAR
 JOB NO:
 DATE:
 SHEE

 PRESTIGE
 24-1117
 22.05.25

CLIENT'S NAME:

MR EMAD LOKA

MRS NARDINE LOKA

SIGNATURE: DATE:

I ACCEPT AND APPROVE CURRENT PLANS AND ALL
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SHEET NO:

SITE ADDRESS:

LOT: 2

DP: 23623

(No. 59) LUCAS ROAD

EAST HILLS NSW, 2213

B-1

TYPE	MARK	CODE	HEIGHT	WIDTH	STYLE	FRAME TYPE	OBSCURED GLAZING	Glazing
W	01	AA 20/16TT	2035	1570	AWNING	STANDARD ALUMINIUM	No	DOUBLE GLAZED / SP10 LOW-E
W	02	AS 08/27	857	2650	SLIDING	STANDARD ALUMINIUM	No	DOUBLE GLAZED / SP10 LOW-E
W	03	AS 10/08	1030	850	SLIDING	STANDARD ALUMINIUM	Yes	
W	04	AS 08/27	857	2650	SLIDING	STANDARD ALUMINIUM	No	DOUBLE GLAZED / SP10 LOW-E
W	05	AFW 16/10	1543	970	FIXED	STANDARD ALUMINIUM	No	DOUBLE GLAZED / SP10 LOW-E
W	06	AS 08/32	857	3210	SLIDING	STANDARD ALUMINIUM	No	DOUBLE GLAZED / SP10 LOW-E
W	07	AA 24/35-3T-LT	2400	3490	AWNING	STANDARD ALUMINIUM	No	DOUBLE GLAZED / SP10 LOW-E
CNR SD	08	ASSD 24/36-32 (INT)	2400	3579 x3219	CORNER STACKING	STANDARD ALUMINIUM	No	DOUBLE GLAZED / SP10 LOW-E
W	09	ASSW 07/36	700	3610	SLIDING	STANDARD ALUMINIUM	No	DOUBLE GLAZED / SP10 LOW-E
W	10	AS 06/16	600	1570	SLIDING	STANDARD ALUMINIUM	No	
W	11	AA 20/06	2060	610	AWNING	STANDARD ALUMINIUM	No	SP10 LOW-E
W	12	AA 20/06	2060	610	AWNING	STANDARD ALUMINIUM	No	SP10 LOW-E
W	13	AA 20/06	2060	610	AWNING	STANDARD ALUMINIUM	No	SP10 LOW-E
W	14	AFW 20/16	2035	1570	FIXED	STANDARD ALUMINIUM	No	DOUBLE GLAZED / SP10 LOW-E
SD	15	ASD 21/16	2100	1570	SLIDING	STANDARD ALUMINIUM	No	DOUBLE GLAZED / SP10 LOW-E
W	16	AS 08/27	857	2650	SLIDING	STANDARD ALUMINIUM	No	DOUBLE GLAZED / SP10 LOW-E
W	17	AS 12/08	1200	850	SLIDING	STANDARD ALUMINIUM	No	DOUBLE GLAZED / SP10 LOW-E
W	18	AS 06/30	600	3010	SLIDING	STANDARD ALUMINIUM	No	SP10 LOW-E
W	19	AS 06/18	600	1810	SLIDING	STANDARD ALUMINIUM	No	SP10 LOW-E
W	20	AS 12/22	1200	2170	SLIDING	STANDARD ALUMINIUM	Yes	
W	22	AFW 24/32	2400	3220	FIXED	STANDARD ALUMINIUM	No	DOUBLE GLAZED / SP10 LOW-E
W	23	AS 06/06	600	610	SLIDING	STANDARD ALUMINIUM	Yes	
W	24	AS 06/24	600	2410	SLIDING	STANDARD ALUMINIUM	No	SP10 LOW-E
W	25	AS 06/24	600	2410	SLIDING	STANDARD ALUMINIUM	No	SP10 LOW-E
W	26	AS 12/12	1200	1210	SLIDING	STANDARD ALUMINIUM	Yes	
W	27	AS 12/18	1200	1810	SLIDING	STANDARD ALUMINIUM	No	
W	43	AS 12/18	1200	1810	SLIDING	STANDARD ALUMINIUM	No	
SD	44	ASD 24/18	2400	1810	SLIDING	STANDARD ALUMINIUM	No	
W	45	AS 10/08 2	1030	850	SLIDING	STANDARD ALUMINIUM	Yes	
W	46	AS 12/18	1200	1810	SLIDING	STANDARD ALUMINIUM	No	
SD	47	ASD 24/22	2400	2170	SLIDING	STANDARD ALUMINIUM	No	DOUBLE GLAZED / SP10 LOW-E

	DOOR SCHEDULE			
MARK	TYPE	HEIGHT	WIDTH	TO ROOM
01	Entry Door: 1500 *	2340	1500	ENTRY
02	Garage_Door: 2400 x 4810_PLD	2400	4810	GARAGE
03	External Door: 920 *	2340	920	GARAGE
04	Cavitiy_Sliding_Door: 1200 CSD *	2340	1200	HOME CINEMA
05	Internal_Door: 820 *	2340	820	HALL
06	Internal_Door: 820 *	2340	820	PDR
07	Internal_Door: 820 *	2340	820	GUEST BED
08	Mirror Sliding Doors 2 Panel: 2375 x 1860 MSD	2375	1860	ROBE
09	Internal_Door: 820	2040	820	FOYER
10	Cavitiy_Sliding_Door: 820 CSD *	2340	820	LAUNDRY
11	Internal_Door: 820 *	2340	820	LAUNDRY
12	Cavitiy_Sliding_Door: 820 CSD *	2340	820	KITCHEN
13	External_Door: 820 *	2340	820	OUTDOOR RETREAT
14	Cavitiy_Sliding_Door: 820 CSD *	2340	820	LEISURE
15	Internal_Door: 820 *	2340	820	BED 4
16	Cavitiy_Sliding_Door: 820 CSD *	2340	820	BED 4
17	Cavitiy_Sliding_Door: 820 CSD *	2340	820	2 WAY BATH
18	Internal_Door: 720 *	2340	720	GALLERY
19	Internal_Double_Door: 2 x 720 *	2340	1440	GALLERY
20	Internal_Door: 820 *	2340	820	BED 3
21	Cavitiy_Sliding_Door: 820 CSD *	2340	820	2 WAY BATH
22	Cavitiy_Sliding_Door: 820 CSD *	2340	820	WIR
23	Internal_Door: 820 *	2340	820	BED 2
24	Cavitiy_Sliding_Door: 820 CSD *	2340	820	WIR
25	Cavitiy_Sliding_Door: 820 CSD *	2340	820	ENS
26	Internal_Double_Door: 2 x 820 *	2340	1640	MASTER SUITE
28	Cavitiy_Sliding_Double_Door: 2 x 820 CSD *	2340	1640	WIR
29	Cavitiy_Sliding_Door: 820 CSD *	2340	820	ENS
30	Internal_Door1: 820	2040	820	BED 1
31	Internal_Double_Door: 2 x 620 *	2340	1240	BED 1
32	Internal_Door1: 820	2040	820	BATH/L'DRY
33	Internal_Door1: 820	2040	820	BED 2
34	Internal_Double_Door1: 2 x 720	2040	1440	BED 2





FACADE NAME:
ARC
JOB NO:
24-1117

SCALE: @ A3
DATE: SHEET NO: 22.05.25 023

CLIENT'S NAME:

MR EMAD LOKA

MRS NARDINE LOKA

SIGNATURE:

DATE:

LACCEPT AND APPROVE CURRENT PLANS AND ALL

DATE:

DATE

SITE ADDRESS:

LOT: 2

DP: 23623

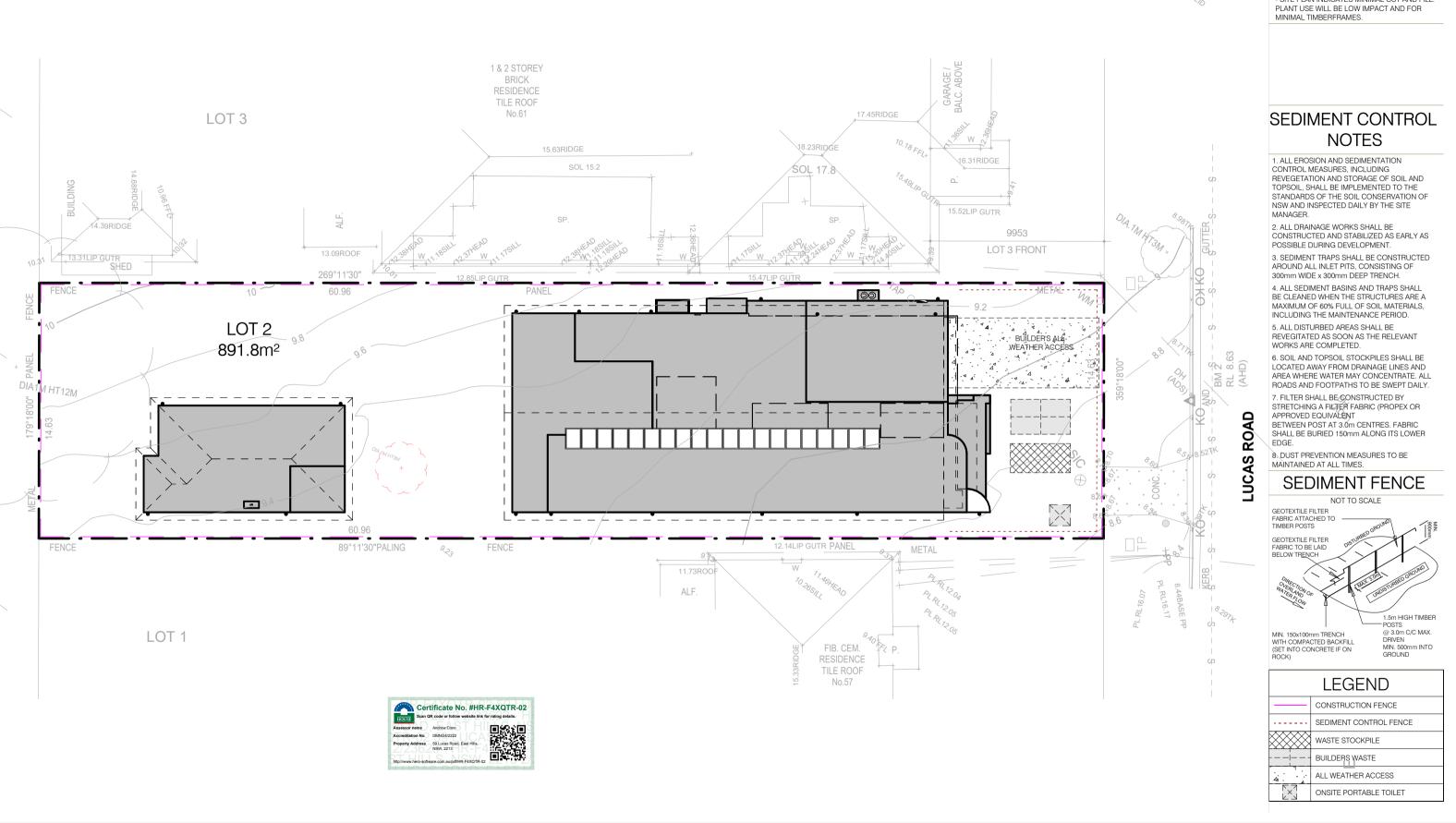
(No. 59) LUCAS ROAD

EAST HILLS NSW, 2213

B-1



NOISE AND VIBRATION CONTROL -BOREHOLE REPORT SHOWS NO ROCK WITHIN SITE. MINIMAL VIBRATION AND NOISE DURING PIER HOLE DRILLING. - SITE PLAN INDICATES MINIMAL CUT AND FILL.





FOWLER YOUR HOME. OUR PASSION.

DESIGN NAME: HEMISPHERE 48-MASTER REAR PACKAGE: **PRESTIGE**

FACADE NAME:

SITE MANAGEMENT PLAN **ARC** SCALE: As indicated @ A3 SHEET NO: JOB NO: DATE: 24-1117 22.05.25

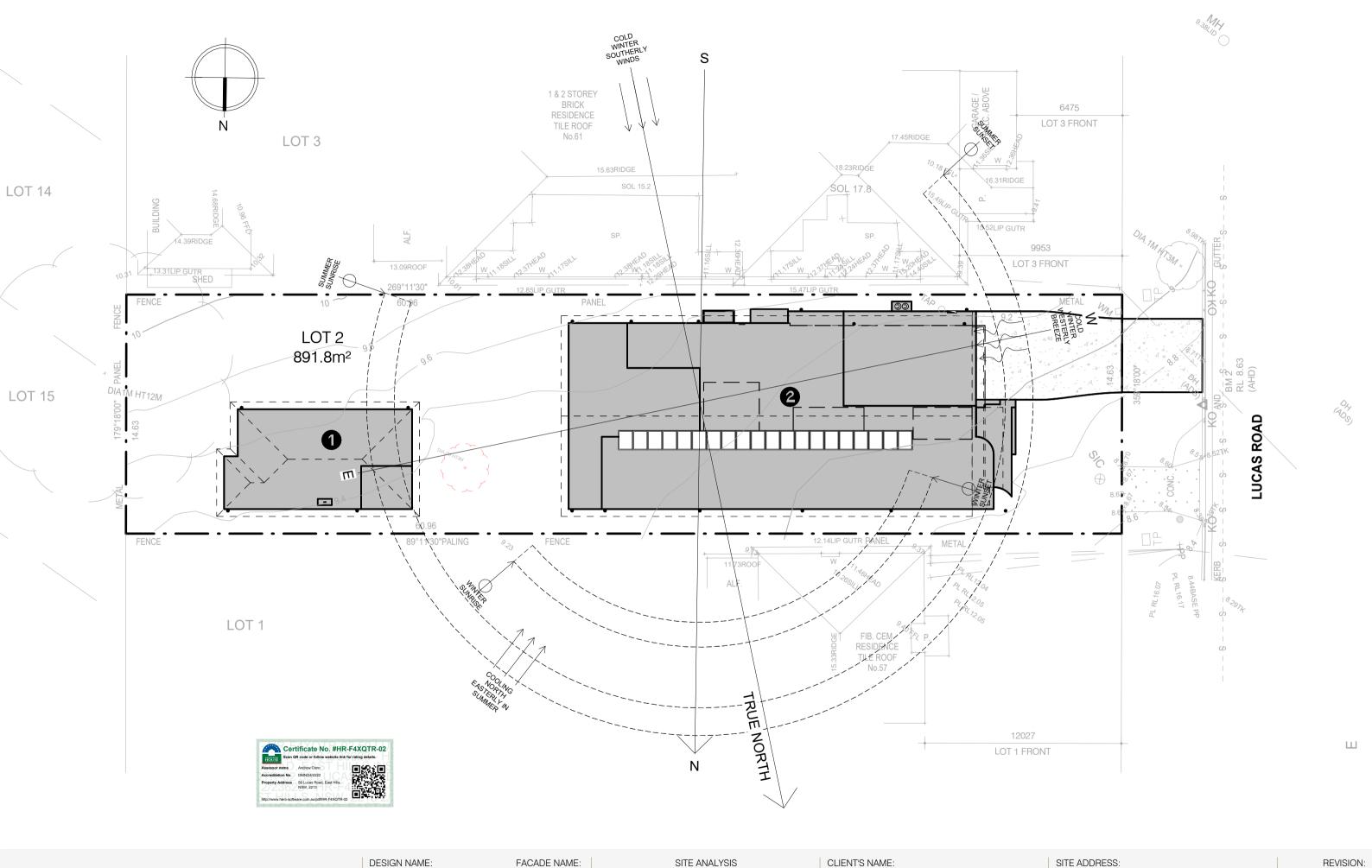
CLIENT'S NAME: MR EMAD LOKA MRS NARDINE LOKA I ACCEPT AND APPROVE CURRENT PLANS AND ALL SITE ADDRESS: LOT: 2 (No. 59) LUCAS ROAD EAST HILLS

DP: 23623

NSW, 2213

REVISION:

DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES. nission of Fowler Homes Pty Ltd. Builders License 113647C.





FACADE NAME:
ARC
JOB NO:
24-1117

ME: SITE ANALYSIS

RC SCALE: 1:200 @ A3

NO: DATE: SHEET NO:
117 22.05.25 025

CLIENT'S NAME:

MR EMAD LOKA

MRS NARDINE LOKA

SIGNATURE: DATE:

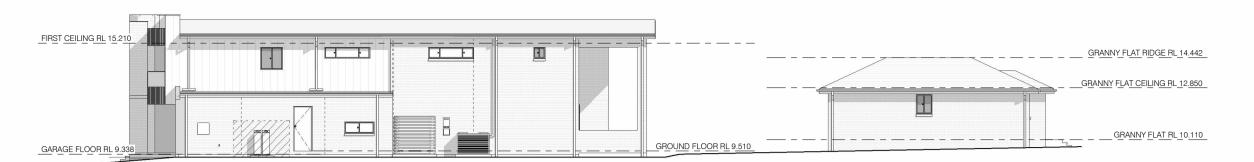
I ACCEPT AND APPROVE CURRENT PLANS AND ALL
DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES

SITE ADDRESS:
LOT: 2 DP: 23623
(No. 59) LUCAS ROAD

EAST HILLS

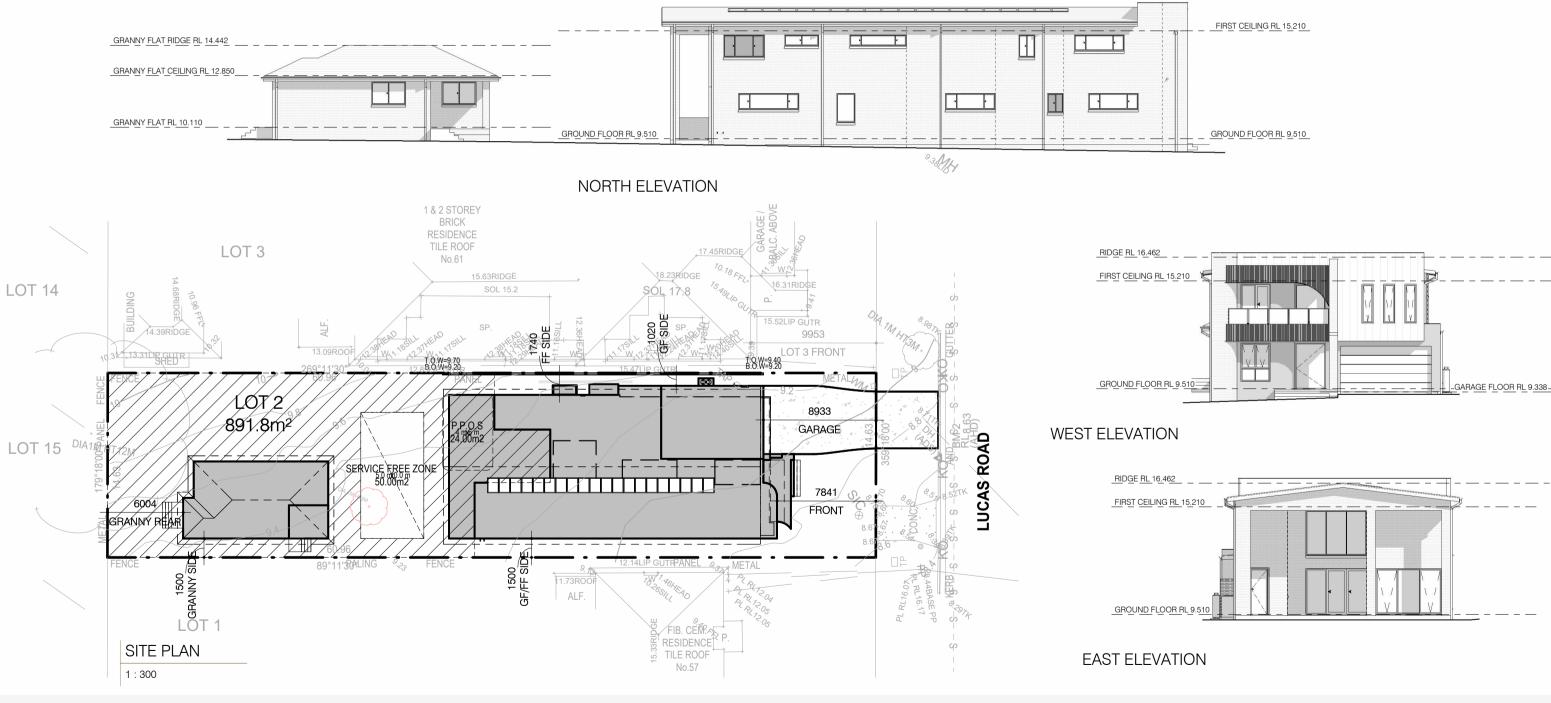
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SOUTH ELEVATION





DESIGN NAME: HEMISPHERE 48-MASTER REAR PACKAGE: PRESTIGE

FACADE NAME: ARC JOB NO: 24-1117

NOTIFICATION PLAN SCALE: As indicated @ A3 DATE: SHEET NO: 22.05.25

CLIENT'S NAME: MR EMAD LOKA MRS NARDINE LOKA

LOT: 2 (No. 59) LUCAS ROAD EAST HILLS

SITE ADDRESS:

DP: 23623

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REVISION:

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